



Prepared for
Chesterfield Borough Council

by
Chris Burnett Associates
FEBRUARY 2012



LOTTERY FUNDED



© Chris Burnett Associates 2012
Chris Burnett Associates, Landscape Architects

Contents

1.	Introduction	3
2.	Understanding	5
2.1	Introduction	5
2.2	Historical Development	5
2.3	Park Surveys – landscape condition, tree survey and buildings	22
2.4	Analysis of the Park Landscape	43
2.5	Social History	61
2.6	Ecology	68
3.	Assessment of Significance	70
4.	Consultation	72
5.	Conservation Issues and Opportunities	73
6.	Conservation Aims and Objectives	79
7.	Action Plan and Costs	82

Appendices

Appendix 1 Bibliography

Appendix 2 Chronology of Main Historical Events

Acknowledgments

Our thanks go to all those who have helped us in the preparation of this document. They include the Friends of Eastwood Park and their chairman Barbara Arrandale in particular, officers of Chesterfield Borough Council, representatives of all the sporting clubs and the Museum of Chesterfield.

1. Introduction

Location and Character

- 1.1 Eastwood Park is situated within the Hasland Ward of Chesterfield in north-east Derbyshire. Opened in 1913, the 6Ha (15 acre) the park is approximately one and half miles from Chesterfield town centre and serves the needs of the immediate adjacent community. It is managed by Chesterfield Borough Council.
- 1.2 The park occupies an elevated position in the Hasland area and provides a large, open and somewhat exposed space for team activities including football and cricket as well as informal recreation. Elsewhere in the park, facilities are provided for bowling and tennis. At the heart of the park is the Village Hall, which has been an important venue in local affairs since its construction in 1914. The park was created from the former grounds of Hasland House and retains some of the features of its earlier history including garden areas and some mature trees.

Present Day Use and Management

- 1.3 Apart from the Village Hall the current facilities in the park include two bowling greens (one of which is no longer in use) one tennis court from an original three, a disused putting green, a full size football and cricket pitch, with a well maintained square, and two play areas some distance apart. However, many of the elements are now past their best or well worn including the former bandstand and a number of small buildings which no longer serve their original purpose. Facilities for certain user groups, teenagers, are noticeable by their absence, which has led to misuse of existing facilities. Despite these issues the park is extremely well used with strong links to the local community. This was amply demonstrated by the interest this study received during the consultation process. The park has dedicated maintenance staff and also acts as a sub-regional parks maintenance depot. As a consequence the standard of maintenance is high.

Significance

- 1.4 Eastwood Park is an integral part of the history of Hasland forming an important open space within a dense housing area developed during the 20th century. The park has a rich social history, being in constant use for nearly 100 years for sports, community events and informal enjoyment. Significant features survive from when the park first opened including the main entrance gates, the fountain, Village Hall and the formal gardens to the side of the former mansion house. Importantly, Eastwood Park reflects the far-sightedness of several private benefactors who played a major role in its purchase and initial development.

Conservation Management Plan

- 1.5 This report provides a comprehensive understanding of the park's development and current condition. It assesses the park's significances, discusses the issues affecting its management, and sets out a vision and policies for its improvement and long term viability. This underpins the Masterplan and cost plan and supports the Activity Plan and Management and Maintenance Plan prepared by Community First Partnership.
- 1.6 Extensive consultation with the local community has taken place during the course of preparing the plan, with stakeholders helping to define options for future improvements and this plan has been prepared in conjunction with an Activity Plan. Officers from Chesterfield Borough Council and Kier Asset Partnership Services have also contributed to the plan by

providing technical information on drainage and built structures as well as helping to assess park issues and opportunities.

2. Understandings

2.1 Introduction

2.1 This section describes the historical development of Eastwood Park, the condition of the park today and provides an assessment of its designed landscape, ecology, past and present uses. It forms the basis on which the full significance of the Eastwood Park can be assessed and is set out as follows:

- Historical development
- Park surveys
- Analysis of the Park Landscape
- Social history
- Ecology
- Access and recreation
- Management information
- Planning context

2.2 Historical Development

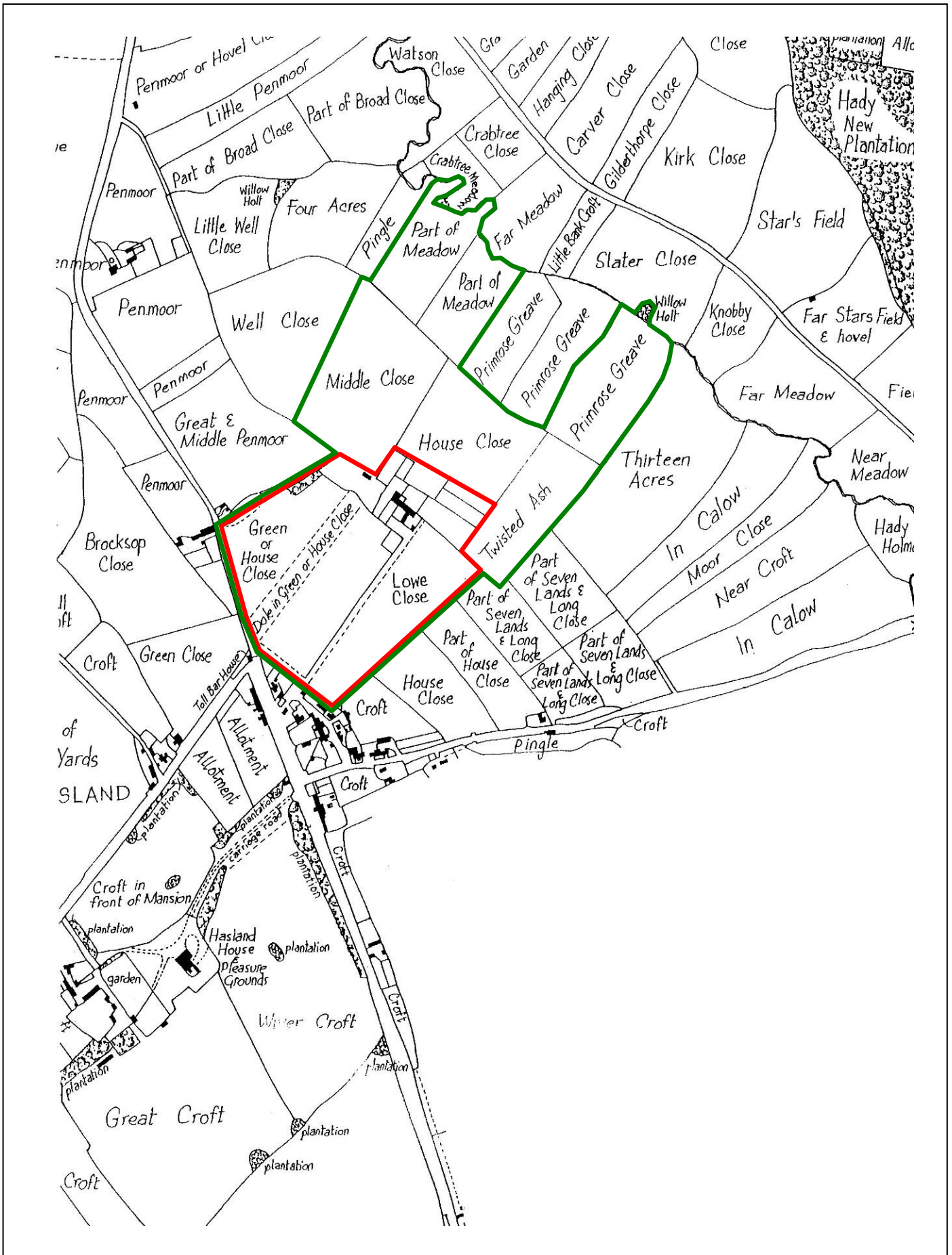
Introduction

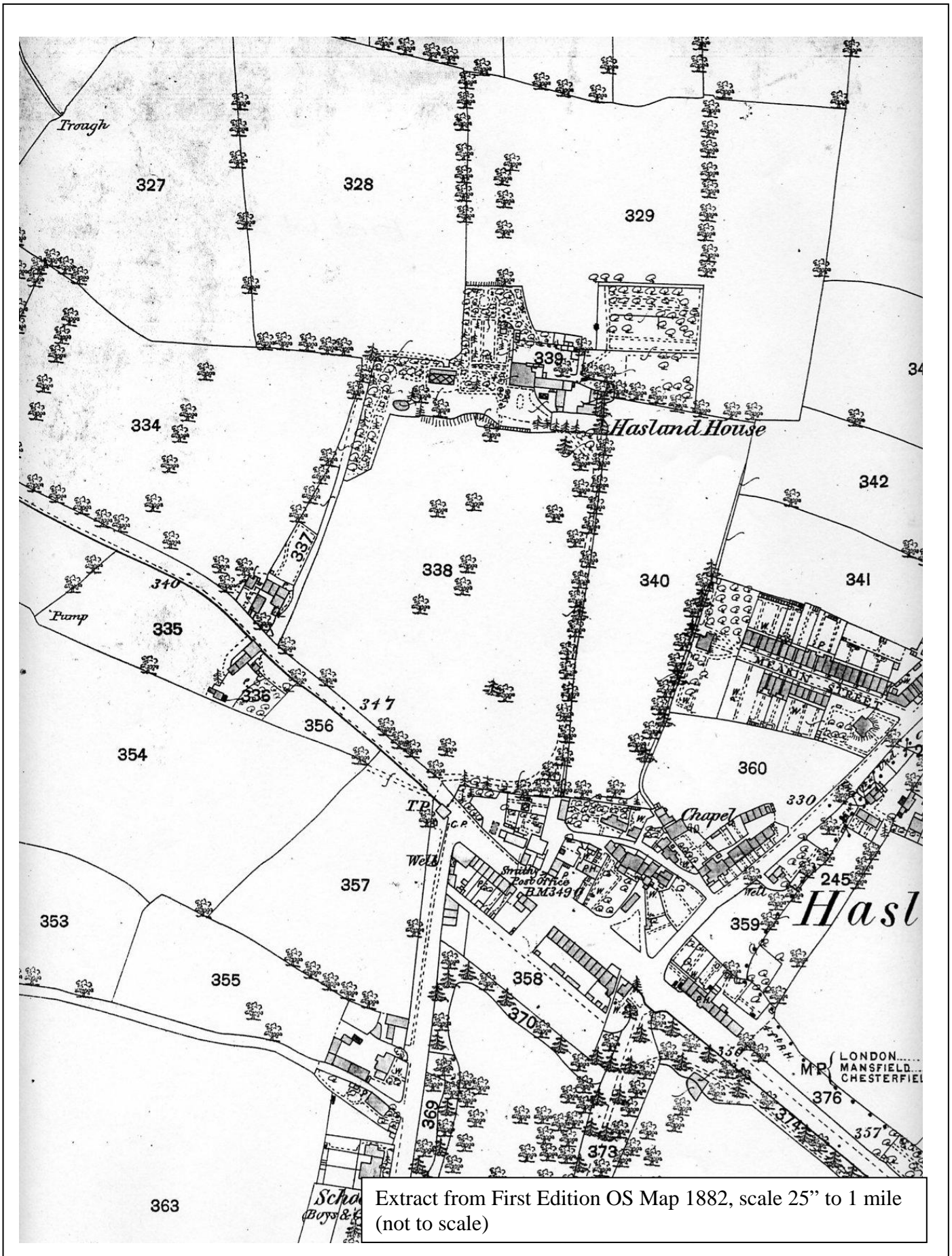
2.2.1 The historical development of Eastwood Park is based on records kept at the Local History Library in Chesterfield (CLSL) including an invaluable album presented to Alderman Eastwood, the park's benefactor, containing newspaper cuttings, souvenir programme and photographs recording the park's official opening in 1913. Another important source of information is the Chesterfield Borough Council (CBC) Minutes charting subsequent developments within the park. Other sources include local history publications and photographs and documents kept at Chesterfield Museum.

Early History – Hasland House

2.2.2 There is little documentation on the site prior to its establishment as a public park, although the land was likely to have been part of the estate based around nearby Hasland Hall. Evidence of ridge and furrow can be found in the southwestern corner of the park possibly indicating that the area was once part of an open field system prior to its enclosure as part of Hasland estate.

2.2.3 The Tithe Map dated 1849 provides early map evidence for the layout of the area prior to the park being constructed (**Fig 2.2.1**). The land was owned by Elizabeth Cloughton and included a larger landholding than the eventual park area, approximately 35 acres to the park's 15 acres. The land consisted mostly of grass closes and meadows used for grazing and a number of smaller garden enclosures around the house. The first edition OS Map, dated 1882, shows the layout of Hasland House in more detail (**Fig 2.2.2**). A tree lined drive approaches the house from Hasland Road, which was originally a straight drive but subsequent developments to Hasland village required the entrance to be moved further westward thus creating the pronounced curve retained today. Parkland trees are evident in the closes in front of the house and formal gardens are depicted around the house. Individual features include a greenhouse, a pond, and a walled orchard.





- 2.2.4 What little information known about the former Hasland House is reported in the Chesterfield Courier when recounting the opening of the park in 1913, although the article confesses that no-one knew who built the house originally (**Fig 2.2.3**). However, in people's memory the grounds of the house were known for their striking appearance, "...for several weeks...carpeted with blue and purple by the crocuses which overrun the space..." The Courier describes the house as follows. "...It is a delightful old building, three-stories surrounded by some fine old trees and with a nice old fashioned flower and kitchen garden. There there is a tennis lawn, which was made by the last occupier, Mr Eric D. Swanwick, and the two fields together extend to about 15 acres. The smaller of the two has been used of late years as a cricket ground of the Hasland Church Institute Cricket Club..."¹ The Courier estimates that the "...first part of the house (is) probably 150 years old, and almost entirely built of brick..."



Fig 2.2.3. The former Hasland House prior to its demolition in the 1930s. The Village Hall was built next to it a year after the park was opened in 1914

- 2.2.5 The first owner who is remembered by the community at that time was Josiah Claughton, who in the mid 19th century was an eminent wholesale chemist in Chesterfield. The property passed down with his daughters and eventually to Miss Catherine Claughton. When she died in 1895 the house was left to her nephew, Rev. Maurice John Beedham whose son John Arthur Beedham inherited the house and grounds but was by then resident in Canada. The property was thus disposed by auction in 1904.
- 2.2.6 The property was valued at £8,000 by one agent and at £10,000 by another, according to handwritten notes on a copy of the sale particulars.² The timber in the grounds was also estimated to be worth £300. The estate is described as consisting of, "...Family Residence, Farm House, 9 Closes of Land, 6 Cottages, Blacksmith's Shop, Workshop, Minerals and Building Land..." Interestingly, the particulars refer to the minerals under the estate, i.e. valuable seams of coal, being included in the sale and that the "...Vendor has been advised by a Mining Engineer that in working the three lower seams the damage to the surface erections will be very trifling..." The estate was sold to Mr. Bernard Lucas for £7,650 and on

¹ The Courier, Saturday 5th July 1913, *Historic Day for Hasland: Eastwood Park Formally Opened*

² Particulars, Plan and Conditions of Sale of the Hasland House Estate, copy in the Local Studies section of Chesterfield Library

his death purchased from his Trustees by Alderman Eastwood. It is not known at this stage whether Alderman Eastwood just purchased the house and 15 acres for the park or the whole 35-acre estate?

Creation of Eastwood Park 1912 - 1913

2.2.7 In 1912, during a monthly Council meeting, a letter from Alderman Eastwood to the Mayor was read out asking the Council to accept Hasland House and adjoining 15 acres in memory of his late father and that it be kept as a public park or recreation ground under the Public Health Acts. ³ He also sets out the following conditions:

1. That it should be called Hasland Park (the Council voted to change this to Eastwood Park in honour of his generous gift)
2. That for a period of 5 years no public money to be spent on it except for fencing
3. House to become whatever the Council wished – library, public institute etc., “... *only stipulate that no license for the sale of intoxicants should be attached to it...*”
4. Give up a strip of land denoted to widen Mansfield Road.
5. That during the next five years it be placed under the charge of the Borough Surveyor for his supervision.

2.2.7 The purchase of Hasland House and grounds was completed on 24th June 1912 at a cost of £3,500 and was conveyed direct to the Corporation. The Council minutes record in detail alterations to the grounds, including the fencing as referred to by Alderman Eastwood. The Council minutes also record that the Committee accepted a contribution of £500 towards the cost of fencing from Mr. Bernard C. Lucas of Clifton, in return for the Corporation providing facilities for legitimate recreation and providing a public reading room. ⁴ The Committee also authorized stonework from the Old Lock Up building in Markham Road, Chesterfield, to be utilized in the erection of the new fence wall at Eastwood Park. ⁵

2.2.8 One of the main features to be introduced into the park was a large water fountain donated by Alderman Markham, which had previously stood in the grounds of Ringwood Hall, the family residence. The Committee selected its position in the park. ⁶ Rapid progress was being made on the construction of the park as reported in the Highways and Improvements Committee at the beginning of 1913. “... *The new fencing on the east and west sides has been completed and the entrance gates from Hoole Street have been fixed. The new palisade wall adjoining Hasland Road is in course of construction and it is hoped to complete the fencing and the widening of the Hasland Main Road during this quarter. The large fountain from Ringwood has been erected fronting the house...*” ⁷

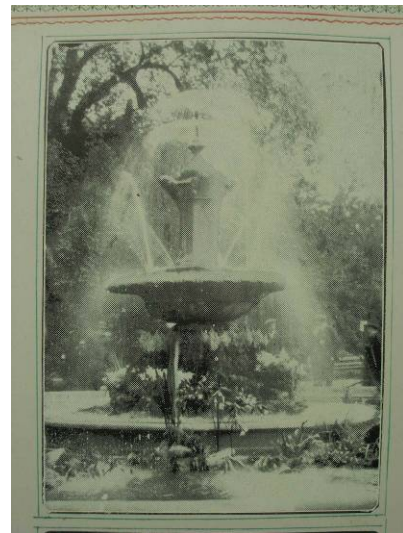


Fig 2.2.4. Alderman Markham's fountain in action during the official opening

³ Letter dated 8th April 1912, recorded in Monthly Council meeting minutes, 9th April 1912

⁴ CBC Minute Book, Estates and Development Committee, 17th September, 1912, Chesterfield Local Studies Library (CLSL)

⁵ *Ibid*

⁶ CBC, Estate and Development Committee, 8th October, 1912 (CLSL)

⁷ CBC, Highways and Improvements Committee, 27th January 1913 (CLSL)

2.2.9 Following on from his earlier contribution towards the cost of fencing the park, Mr. Bernard C. Lucas, whose family previously owned Hasland House, wrote to the Corporation in March 1913 stating his wish to build a Village Hall at Eastwood Park. He writes, “...with Mr. Eastwood’s approval I am sending you under separate cover plans to place before the Chesterfield Corporation for their consideration. In sending these I wish it to be understood that it is a preliminary scheme embodying what I should like to do, providing the cost, when the result of tenders are known, does not vary much from the figures indicated by the Architect. Should the Corporation see their way to accept my offer the principal conditions would be.

1. That the Corporation gives the site indicated and removes the outbuildings.
2. That the Corporation undertakes the maintenance and provides a Caretaker.
3. That the inhabitants of Hasland have the preference as regards the use of the Hall..”

The architect, Rowland W. Paul, drew up the plans and the Council accepted the proposal with a vote of thanks for the generous offer. (No actual plans survive but a full written description of the scheme is quoted in section 2.4)

2.2.10 As construction of the park continued during the early part of 1913 the Borough Surveyor, Mr. Vincent Smith, submitted plans for improving the main carriage drive through the park and for the new “cross road” from Hoole Street to the newly installed fountain, the cost of which was borne by Alderman Eastwood.⁸ In recognition of his generous support for the new park, Alderman Eastwood was made an Honorary Freeman of the Borough of Chesterfield and received an elaborate casket to contain his freedom certificate (**Fig 2.2.5**).⁹ It was during this confirmation that the Council at a special meeting, held on the same day as the official opening, resolved to call the new park ‘Eastwood Park’ in recognition of his major contribution to its establishment.



Fig 2.2.5 The casket that holds Alderman Eastwood’s Freeman certificate paid for by public subscription and now in the collection of Chesterfield Museum.

⁸ CBC Estates and Development Committee, 6th May 1913 (CLSL)

⁹ CBC Special Council Meeting, 2nd July 1913 (CLSL) on the day of the official opening of Eastwood Park. The casket was bought through public subscription and is now in Chesterfield Museum.

Opening of Eastwood Park, 2nd July 1913

“...In days to come the park, which we heard described by a local resident as A VERITABLE GARDEN OF EDEN will be even more appreciated than it is at the present time, for houses are already being built in close proximity to it and soon it will be a ‘breathing place’ in the centre of a very thickly populated portion of the borough...”

Derbyshire Times *Eastwood Park Open*, 5th July 1913

- 2.2.11 On the day of the grand opening of the park, celebrations began with a special meeting at the Town Hall. The local paper, *The Courier*, takes up the story, “...At the conclusion of the Council meeting, a procession was formed outside and the journey to Eastwood Park commenced. A large crowd assembled en route and with members of the Corporation, the police and fire brigade, a striking picture was presented...”¹⁰ The gates to the park were officially opened by Alderman Eastwood’s niece and during the speeches *The Courier* reports that, “...Hasland’s special gratitude to the benefactor was epitomized by the handing over to Alderman Eastwood by Mr. William Hancock, the oldest male inhabitant in the village, of a magnificent and valuable silver-gilt casket, in which was contained the exemplification of his Freedom...” (see **Fig 2.2.6**). The newspaper report adds, “...Afterwards a number of guests and the school children were entertained to tea, and to musical and other enjoyments in the grounds...”¹¹ ‘Enjoyments included, a Punch and Judy show, the Brian Donkin Orchestral Society, the Hasland Templar Pierrots and the grand conjuring skills of W. L. Wilkins.



Fig 2.2.6 Souvenir guide to the opening ceremony and contemporary photos of the occasion, all contained in a presentation album to Alderman Eastwood now in the collection of Chesterfield Local Studies Library.

¹⁰ *The Courier*, Saturday 5th July 1913, *Historic Day for Hasland: Eastwood Park Formally Opened*

¹¹ *Ibid*

- 2.2.12 The Derbyshire Times, 5th July 1913, describes the layout of the new park in detail and the passage from the newspaper is worth quoting in full:

“... Besides containing a house, which for some years was the residence of Mr. Swanwick, and which will, besides housing the caretaker serve as a branch reading room and library, the grounds possess a large conservatory, a magnificent fountain, a wealth of old trees and any amount of turf, the whole constituting an ideal playground.

The park abuts on the main road from Chesterfield to Hasland, and there is not the slightest doubt that both old and young will make full and constant use of it. The possession of such a cherished resort must increase the healthfulness and general desirability of the whole district as a place of residence and the importance of this consideration will increase the proportion of the increased building development that takes place.

The park is shut off from the main road by a handsome stone wall and wrought iron railing in the centre of which are artistic entrance gates bearing the borough arms and the words “Eastwood Park 1913”. The grounds have been tastefully laid out under the direction of the Borough Surveyor (Mr. Vincent Smith) and the material used on the drives is the celebrated Breedon footpath gravel. It was supplied by Mr. J. Shields of the Breedon and Cloud Hill Lime Works, Isley Walton, near Derby. Adjoining the house is to be built the public hall, the gift of Mr. B. C. Lucas of Clifton...”

- 2.2.13 A breakdown of the capital expenditure of building the park, as recorded in the Estates and Development Committee minutes, is shown in the table overleaf (**Fig 2.2.7**). The minutes also record that Alderman Eastwood handed a cheque for £1,148 7s 7d to the Borough accountant representing the balance of expenditure on building the park for which he was heartily thanked for his generous contribution. This represents the majority of the total expenditure of £1,778. 7s. 7d. During the same committee meeting the Borough Surveyor was authorized to spend £50 out of the annual budget of £150 allocated to Eastwood Park for the purchase of seats.¹²

Early Development of the Park 1913 to 1945

- 2.2.14 A year after the park was officially opened and just before the outbreak of the First World War, the new Village Hall was built (**Fig 2.2.8**). It was formally opened on Wednesday 22nd July, 1914 by Mrs. Bethune, the sister of the benefactor Mr. Bernard C. Lucas who couldn't attend due to business commitments in Bristol. There were no developments at Eastwood Park over the first 5 years, as stipulated by Alderman Eastwood's conditions and the intervening war years.



¹² CBC, Estates and Development Committee, 5th August 1913 (CLSL)

Fig 2.2.7 Eastwood Park: Capital Expenditure		
Date	Item of Work	Cost £ s. d.
1912 Nov	Fencing, Bayliss, Jones & Bayliss	148 15 5
	Fencing, Armstrong, Addison & Co.,	73 12 2
	Fencing, Allen & Orr, Ltd.,	1 2 0
1912 Dec	Fencing, I. Hardy & Sons	16 1 0
1913 Feb & July	Highway Committee, laying out grounds	320 15 0
	Erecting Front Fence, Ino. Wright	345 17 4
	Barbed Wire, G. H. Bower	0 11 6
	Iron Pallisade, H. W. Turner	194 12 0
	Gas and Water Board, C. I. Pipes	0 14 3
	J. G. Shields, Gravel for Paths	78 17 9
	R. W. Proctor, Front Bed	14 0 7
	R. W. Proctor, Fountain Decoration	37 17 0
	R. W. Proctor, Decoration of Platform	5 4 0
	Eyre and Co., Ltd., Platforms	25 15 0
	Eyre and Co., Ltd., Painting railings, palisade and gates	42 10 0
	Removing and Fixing Fountain	159 17 1
	Hasland Road Widening abutting Eastwood Park	312 5 0
	Grand Total	£1778 7 7

2.2.15 The 1918 OS Map shows the layout of the new park (**Fig 2.2.9**). The main features depicted include the main gates at a new position further along Hasland Road from the original entrance into the house grounds, with a large circular planting bed set back from the entrance; a new entrance from Hoole Street on the eastern boundary of the park leading to the fountain; and the retention of the main carriage drive. Around the house, apart from the replacement of the out buildings with the village hall, the gardens remained unchanged. The open park in front of the house retained a parkland character with its scattering of mature trees and a ha-ha appears to separate the park from the house and 'formal' gardens.

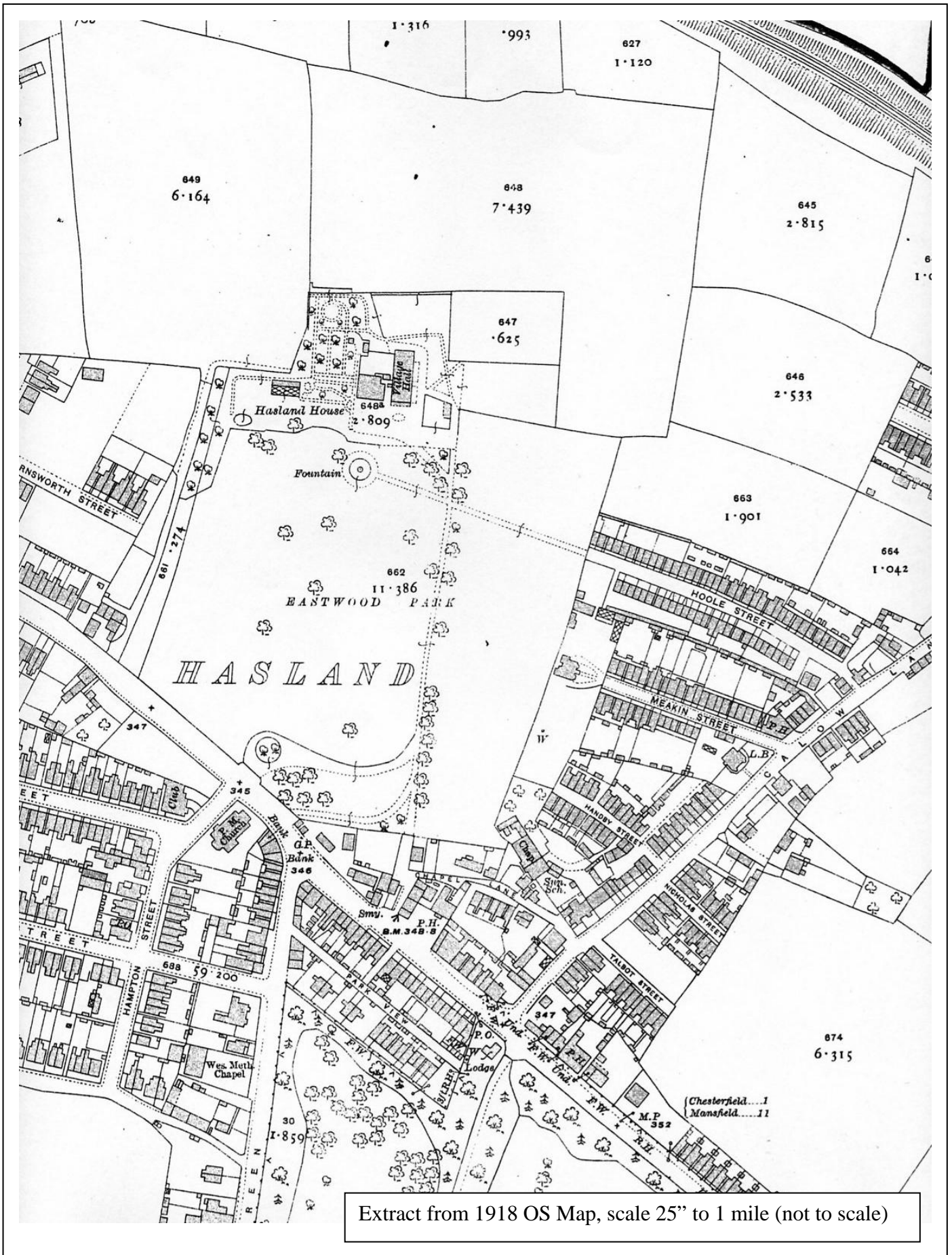
2.2.16 In 1919 Alderman Eastwood continued to support the park by supplying gymnastic apparatus for both boys and girls and paying for the park railings and the exterior of the house and greenhouse to be painted.¹³ In the same year the Bye-laws for the park were drawn up. In 1921 the Corporation accepted £120 from Mr Bernard C. Lucas towards the "... *the erection of a covered communication between the Village Hall and the adjoining house...*"¹⁴ These were based on plans drawn up by the Borough Surveyor in February 1921 (this modest link building, useful at the time, would have been demolished along with Hasland House a decade later). There is also a reference in 1921 to the Lawn Tennis Ground being used by the Hasland Wesleyan Tennis Club, indicating that tennis courts were an early feature of the park.

¹⁵

¹³ CBC Estates and Development Committee, 19th June 1919 (CLSL)

¹⁴ CBC Parks and Cemeteries Committee, 21st September 1921 (CLSL)

¹⁵ CBC Sports Committee, 19th April 1921 (CLSL)



2.2.17 Two other park features were introduced in 1922. In April the Hasland Soldiers and Sailors War Memorial Committee requested permission to erect a memorial on the site of the circular garden plot just inside the main gates. The request was approved subject to a sketch scheme being provided.¹⁶ In May of that year the Council resolved that the Chairman of the Parks Committee and the Borough Surveyor, "... *consider and determine the site and erection of a suitable presentation bandstand in Eastwood Park...*"¹⁷ 1922 was a busy year for the park. In November at the annual Council meeting the Parks and Cemeteries Committee recorded that Bernard Lucas had once again contributed £200 towards the cost of providing lavatory accommodation and cloak rooms at the Village Hall.¹⁸ At the same meeting a parks sub-committee recommended applying for a grant of £4,200 from the Ministry of Health for swings, tennis lawns, bowling greens and bandstand for all Chesterfield Parks. Of this request only 3 tennis courts were specified for Eastwood Park. However, in December a site had been agreed for a bowling green, "... *in the orchard adjoining Eastwood Park and belonging thereto...*"¹⁹ From map evidence this would indicate that the first green to be constructed was at the site of today's flat bowling green (**Fig 2.2.10**). The Council minutes record that the bowling green was officially opened on 4th June 1924 with Alderman Eastwood invited to throw the first wood.



2.2.18 The Council minutes also raise early management issues and conflicts between formal recreational provision and informal use of the park. In early 1923 the Council, "... *resolved that notices be posted near the entrance gates at Hasland Road and Hoole Street, in Eastwood Park, requesting persons to use the main footpath between such points...*"²⁰ Soon after these early desire lines across the cricket pitch led to the Council erecting, "... *dwarfed iron railings 4 foot high opposite the entrance gates to Eastwood Park from Hasland Road and Hoole Street for a total distance of 184 yards...*" at a cost of £85 and 12 shillings.²¹ The cricket club also requested the removal of two mature trees!

2.2.19 On the building front, a plan for new conveniences at a cost of £300 was approved in 1924 although they were finally opened in 1935! (Presumably these toilets are the separate building to the east of the Village Hall, now redundant.) Repairs were also made to the roof of Hasland House with the Borough Surveyor warning that the whole roof would have to be replaced in the near future, presaging its eventual demise in the 1930s.²²

¹⁶ CBC Parks and Cemeteries Committee, 12th April 1922 (CLSL)

¹⁷ *Ibid*, 17th May 1922

¹⁸ CBC Annual Council Meeting, Parks and Cemeteries Committee, 9th November 1922 (CLSL)

¹⁹ CBC Parks and Cemeteries Committee, 5th December 1922 (CLSL)

²⁰ *Ibid*, 21st February 1923

²¹ *Ibid*, 20th June 1923

²² *Ibid*, 24th September 1924, minute 3469 & 3470

2.2.20 In 1927 an old tram body, which was surplus to requirements was placed next to the flat bowling green with a set of stone steps giving access to the interior. Inside were table and seats and according to Maureen Pearce became, “... *the meeting place of the village elders, where they would play cards and dominoes – a forerunner of the over 60s club which meets in the Village Hall today.*...”²³ It is not known how long the tram car remained at the park but the stone steps survive on the edge of the existing car park as a reminder of past times. In the following year a new caretaker and gardener was appointed, a W. T. Hatton, to be, “...paid £3 per week including house, coal and light...” He replaced Mr C. Skidmore who had resigned his position in a letter dated 28th May 1928.²⁴ In the same year, subsidence associated with the underground coal seams worked by the local mines, was recorded for the first time.²⁵

2.2.21 The crown green bowling green was in place at the park in 1931 with Alderman Eastwood being asked to officially open the green²⁶, and a putting green was in use by 1932 (**Fig 2.2.11**).²⁷ During the depression years of the 1930s several unemployment schemes were suggested for Eastwood Park. One project was to level the park area by using ashes from the Hasland area. The Council resolved that screened refuse from the Destructor works should be used and not the crude refuse originally proposed by the Parks Committee.²⁸ As it happened the scheme was postponed and a similar project for a paddling pool at Eastwood Park was also deferred.²⁹



Fig 2.2.11 The putting green was introduced into part of the former House Close Field enclosed when the new park boundaries were made in 1913.

²³ Quote from Hasland Times Past by Maureen Pearce, published by Chesterfield and District Local History Society, pg 19

²⁴ CBC Special Parks and Cemeteries Committee, minute 2282 & 2585, 5th June and 3rd July 1928 (CLSL)

²⁵ *Ibid*, minute 3394, 16th October 1928

²⁶ *Ibid*, minute 2559, 14th July 1931

²⁷ Consideration of laying down a putting green was first mooted in 1929, CBC Parks and Cemeteries Committee, minute 2582, 16th July 1929

²⁸ CBC Parks and Cemeteries Committee, minute 420, 13th December 1932, minute 887, 13th February 1933 (CLSL)

²⁹ *Ibid*, minute 947, 21st February 1933

2.2.22 The small bowling pavilion was built by Mr. F. Beardow in 1934 at a cost of £186 – 10 – 0d.³⁰ In 1935 there was further discussion over introducing a paddling pool into the park but again this never materialized and in the same year the public conveniences adjacent to the Village Hall were constructed at a cost of £330 – 7 – 10d.³¹ In the following year the small drinking fountain was erected (³²) and in 1938 A. V. Ashton and Co., re-slatted the Village Hall roof at a cost of £159.³³

2.2.23 One of the major developments of the mid 1930s was the demolition of the old house and its replacement with a new caretaker’s residence (**Fig 2.2.12**). In 1935 the committee considered the report of the Vice Chairman, Borough Surveyor and Parks Superintendent with regard to the condition of the old mansion and resolved to, “...arrange for the demolition of the Old Mansion and surrounding dilapidated buildings, together with certain old trees, at the earliest possible date...”³⁴ The architect Mr. C. Bond was engaged to prepare plans and estimates for the ‘Caretaker’s Lodge and Refreshment Room’, together with a Store Shed and Greenhouse behind the proposed Lodge. The cost of the proposed works was estimated by the Borough Engineer and Surveyor, Mr. W. S. Wilson, as follows;

Caretaker’s House	700
Refreshment Room... ..	200
Greenhouse, potting shed & store... ..	350
Demolition of old mansion	100
Architect’s fees, 6% on 1250	75
Contingencies	25
 Total	 <u>£1450</u>



Fig 2.2.12 The caretaker’s house and adjacent refreshment room

When the house was finished in 1936 the final cost of the building work eventually came to £2,309 – 18 – 2d.

2.2.24 In 1936 plans were drawn up to re-surface paths and the frontage of the new buildings with tarmac. To reduce costs the scheme was re-submitted with a reduced area of tarmac and a greater area of grass and flower beds.³⁵ The work was carried out by the Preskey Brothers in the spring of 1937 at a cost of £290.³⁶

2.2.25 The 1938 OS Map records the many changes introduced into the Park during its early years (**Fig 2.2.13**). In summary these developments include:

- Introduction of the war memorial, bandstand and Village Hall toilets
- Introduction of a new path linking the main entrance to the bandstand and beyond
- Demolition of the old mansion and replacement with the caretaker’s house, refreshment room, new greenhouse and potting shed
- Introduction of 2 bowling greens, 3 tennis courts and small pavilion.

³⁰ CBC Parks and Cemeteries Committee, minute 1384, 16th April 1934 (CLSL)

³¹ *Ibid*, minute 113, 18th November 1935 and minute 726, 18th January 1937

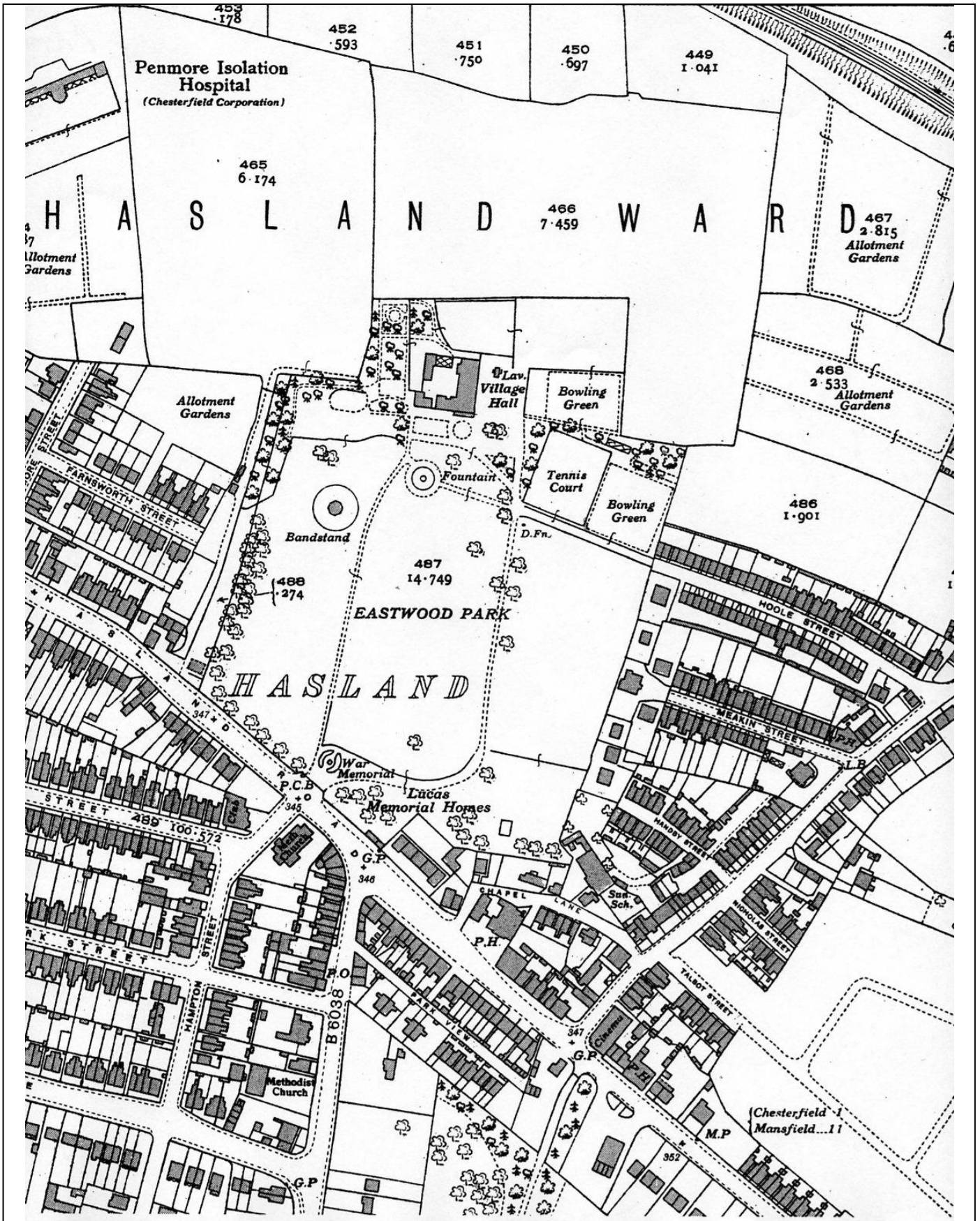
³² *Ibid*, minute 1210, 23rd March 1936

³³ *Ibid*, minute 1910, 16th May 1938

³⁴ *Ibid*, minute 918, 18th February 1935

³⁵ *Ibid*, minute 2211, 13th July 1936 & minute 2492, 21st September 1936

³⁶ *Ibid*, minute 1759, 27th April 1937



Extract from 1938 OS Map, scale 25" to 1 mile (not to scale)

2.2.26 During the Second World War the park was adapted to aid the war effort. The Village Hall was used as a training centre by the Air Raid Precaution Committee and also as a First Aid Post.³⁷ (Although the park suffered no damage during the war period, mining subsidence did cause damage to the Village Hall flooring and the surrounding road way³⁸) The Parks Superintendent also submitted a scheme for the cultivation of demonstration garden plots for food production although there is no documentary evidence of how the park was actually utilised for food during the war period.³⁹

Further Development of the Park 1945 to Present Day

2.2.27 There have been few major developments since the Second World War. In 1946 the enclosed area in front of the bandstand was increased and re-surfaced in tarmac due to its poor condition.⁴⁰ In 1949 repairs were also made to the main drive costing £225, probably in response to further mining subsidence. In the same year the foreman at Eastwood Park resigned and a new post of Caretaker / Ranger was advertised at £5 per week, plus house, light and fuel.⁴¹ A request to convert the flat bowling green into a tennis court was denied – the Council favouring the re-construction of the 3 tennis courts damaged by subsidence.⁴²

2.2.28 In 1951 the Council first proposed an extension to the park along with a school site, allotments and a housing site, all on land lying between the park and the main railway line to the north.⁴³ These changes (the Borough Surveyor had provided a layout plan) are not recorded on the OS Map published in 1962 and the Council minutes do not mention a possible extension until 1967 when the Park Superintendent submitted a plan showing a 6 acre extension.⁴⁴ It was not until 1970 that Chesterfield Public Services Committee recommended the Borough Finance Committee purchase 1.4 acres of land to the rear of the park for £2,250.⁴⁵

2.2.29 It was during the 1950s that improvements to the formal recreational facilities were undertaken. In 1955 the cricket table was constructed (⁴⁶) and in 1959 the Parks Superintendent was authorized, “...to prepare a football pitch on the east side of the park for use by Hasland Football Club and Hady Lane Miner’s Welfare Football Club...”⁴⁷ The play area in the south east corner of the park was also introduced and the crumbling superstructure of the bandstand was demolished.⁴⁸ (It was not until 1967 that a cricket pavilion was placed on the base of the disused bandstand, a request first put forward by the Hasland Cricket Club in 1962, for a pavilion to be erected at their own expense.⁴⁹) The 1962 OS map (**Fig 2.2.14**) record the recent changes to the park including:

- The new tarmac ‘forecourt’ to the bandstand
- The new children’s play area.

³⁷ CBC Parks and Cemeteries Committee, minute 2102, 15th May 1939

³⁸ *Ibid*, minute 1709, 17th May 1943

³⁹ *Ibid*, minute 1098, 11th March 1940

⁴⁰ *Ibid*, minute 1026, 21st May 1946

⁴¹ *Ibid*, minute 1125, 18th January 1949, minute 1802, 22nd March 1949

⁴² *Ibid*, minute 1586, 24th October 1950

⁴³ *Ibid*, minute 883, 17th June 1951

⁴⁴ *Ibid*, minute 1994, 17th January 1967

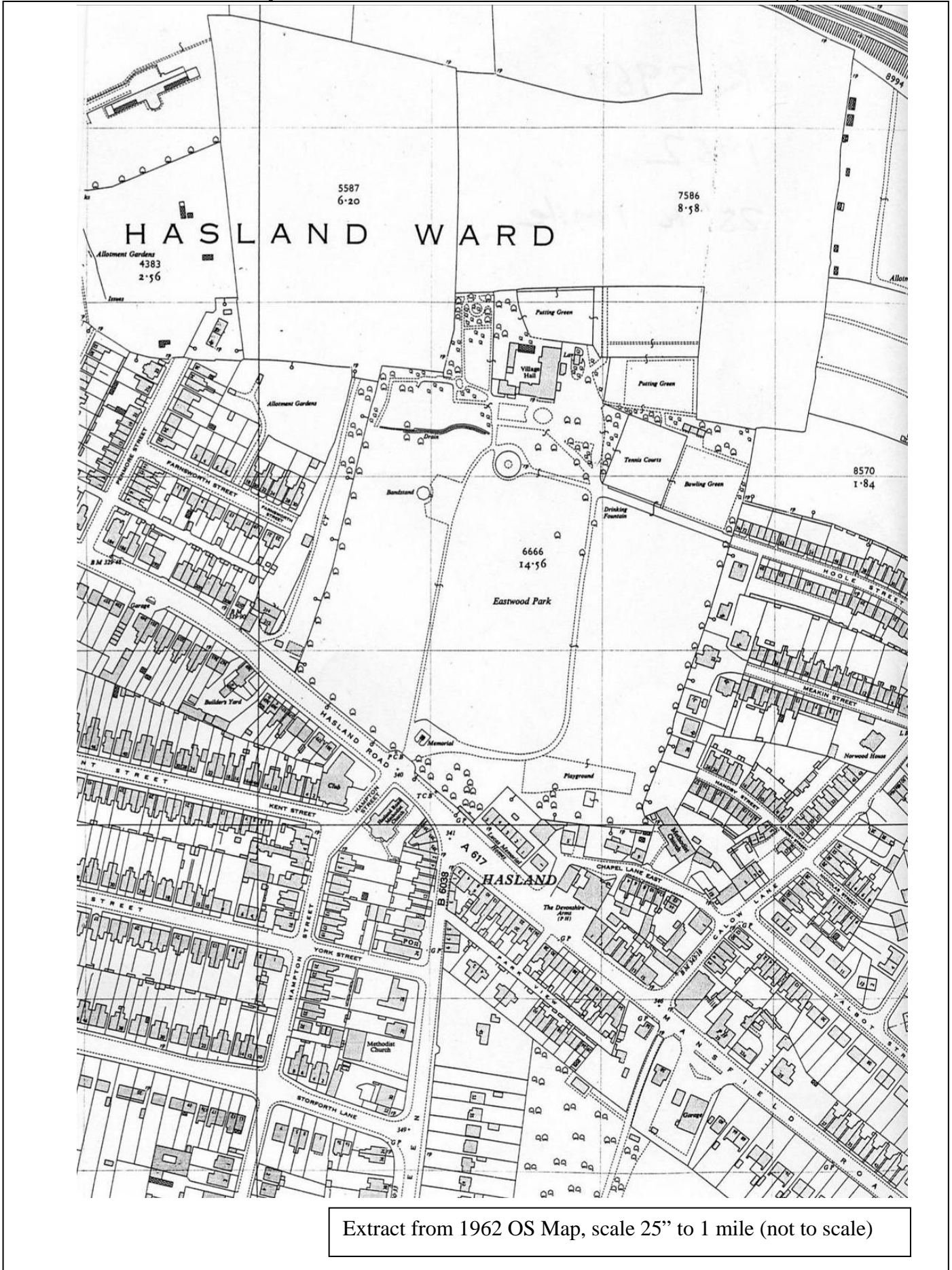
⁴⁵ Derbyshire Times, *Park Extension Planned*, 20th March 1970, page 1, column 4

⁴⁶ CBC Parks and Cemeteries Committee, minute 1470, 18th October 1955

⁴⁷ *Ibid*, minute 653, 9th July 1959

⁴⁸ *Ibid*, minute 917, 16th September 1958

⁴⁹ *Ibid*, minute 2036, 6th December 1962, and minute 899, 19th July 1967



- 2.2.30 During the 1960s the land to the rear of the park was beginning to be developed for housing and as part of this movement the Parks Superintendent submitted a plan showing an area of approximately 6 acres required for an extension.⁵⁰ It is not known what the proposed extension was to be used for, but as previously mentioned it was not until 1971 that a reduced area of 1.4 acres (part of the original Elm Tree Farm) was purchased by the Council for £2,250.
- 2.2.31 There were no further developments until 1990 when the Borough Recreation and Leisure Officer submitted a report on proposals for the development of Eastwood Park. The report referred to the Council's policy of improving the quality of all pitches by installing land drainage and drew attention to problems created by the indiscriminate parking of vehicles by people using the existing facilities at Eastwood Park. The proposed development provided for; a car park for 20 cars (with access presumably from Hoole Street); the refurbishment of the play area; and the provision of land drainage to the football pitch.⁵¹ The Recreation and Leisure Committee approved the works on 13th March 1990.
- 2.2.32 In 1991 further improvements were made to the park with the development of new access arrangements at a cost of £48,000.⁵² The Council proposed the following improvements:
- Proposed new entrance to Eastwood Park by opposite end of Farnsworth Street extending the roadway to by-pass the mature trees
 - Provision of landscaping to screen properties on Eastwood Park Drive from headlight glare
 - Installation of lighting columns to illuminate drive and surrounds
 - Construction of footpath to provide a link from Hoole Street to Hasland Road.
- 2.2.33 A final and popular development in the park was the re-installation of the water fountain in 2000 (**Fig 2.2.15**). The fountain, first donated by Alderman Markham in 1913, was removed from the park in the 1980s and taken to New Square in the town centre, where it was re-christened the "Peace Fountain". The fountain never really settled in its new location, attracting litter and blowing water onto nearby market stall holders, and was taken back to the park and erected in its original position, although without the water garden that originally surrounded it.⁵³



Fig 2.2.15 The Ringwood Fountain donated to the park in 1913 and reinstalled in 2000

⁵⁰ CBC Parks and Cemeteries Committee, minute 1994, 17th January 1967 (CLSL)

⁵¹ CBC Recreation and Leisure Committee, minute 1342, 16th January 1990 (CLSL)

⁵² *Ibid*, minute 935, 12th November 1991

⁵³ Our Town, *Historic Fountain back where it belongs*, March 2000 no., 69, pg 11

2.3 Park Surveys

Introduction

- 2.3.1 This section includes an assessment of landscape condition, a tree survey, a park drainage survey and a survey of the Village Hall and Caretaker's Lodge.

LANDSCAPE CONDITION

Introduction

- 2.3.2 An evaluation of Eastwood Park's current condition also assists the process of understanding the park's development and identifies those components which are under threat, in poor condition or are in need of management and which are of significant historic value. Photographs have been used to illustrate the points made in the ensuing text and reference should be made to the survey plan (**Fig 2.3.1**).

Park character

- 2.3.3 The park can be separated into 3 zones of more or less homogenous landscape character. This is illustrated on fig 2.3.1 and for the purpose of this study can be described as **Zone 1**: Village Hall, Gardens and Amenities, **Zone 2**: Enclosed Recreational Facilities and **Zone 3**: Open Park and Open Recreation Facilities.

Zone 1: Village hall, Gardens and Amenities

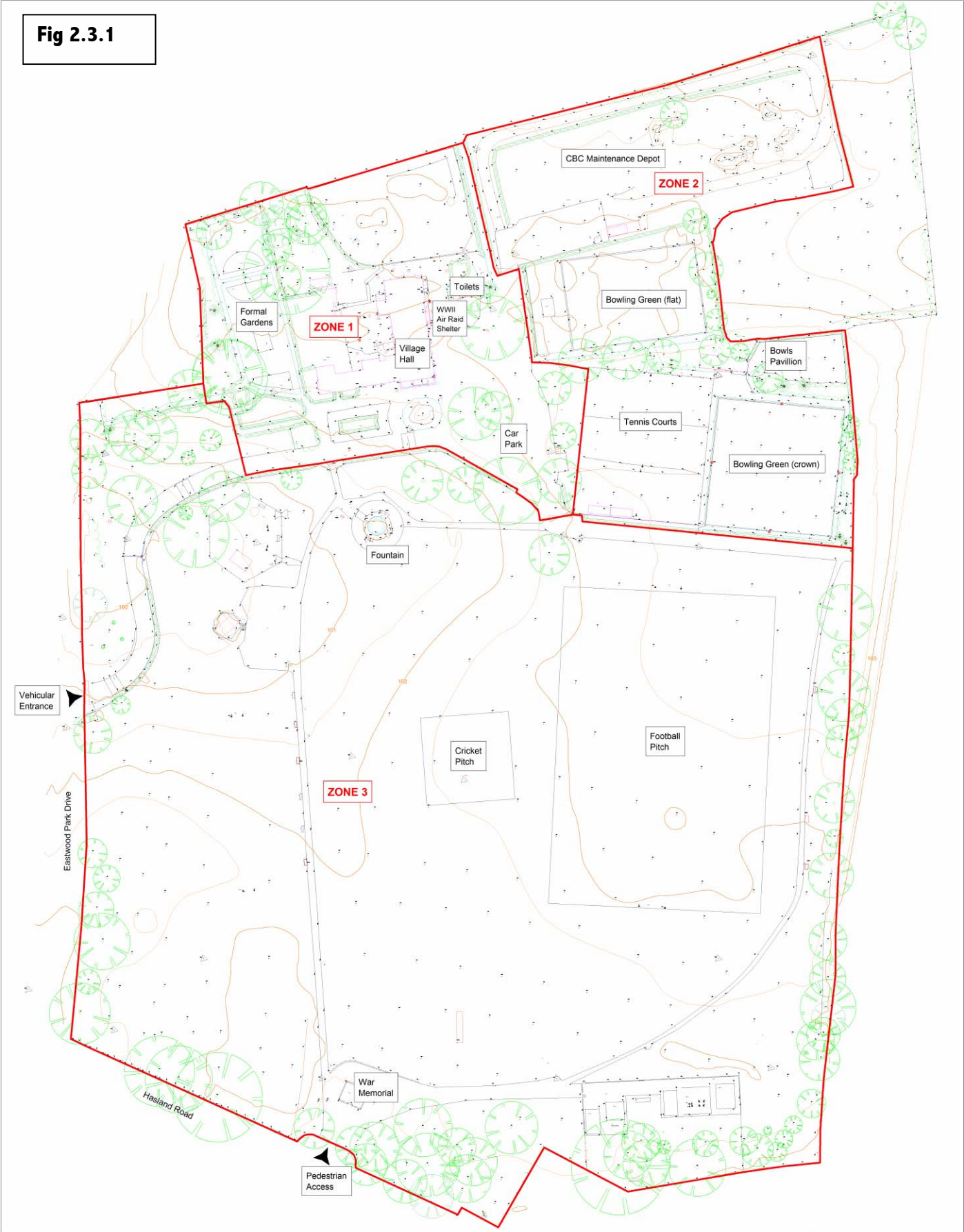
- 2.3.4 This zone has the village hall (photo **1**) and associated dwelling at its centre which is surrounded by a heavily treed but well maintained space. The zone is separated from Zone 3 by a 1.3m high modern, metal railing type fence and beech hedge (photo **2**) which separates it physically and visually from the open park. An entrance drive has recently been created which leads to the Village Hall and car parking area and also to the maintenance yard. A series of mature trees ranging from mature horse chestnuts to limes, ash and beech collectively provide a lightly wooded setting to the village hall and immediate surroundings.



- 2.3.5 The landscape to the west of the hall is in direct contrast to that of its counterpart to the east. The western fringe is comprised of manicured lawns and mature rose beds often surrounded by low box hedges. Many of these beds are looking over mature with roses in need of replacement. A mature shrubbery, again with over-mature shrubs often with gaps nearby, and large mature trees such as beech, horse chestnut and lime lie to the west and north of the hall.



Fig 2.3.1



Eastwood Park: Site Survey and Zones



Landscape Architects

White House Farm
 Stroud, Gloucestershire
 Gloucester GL14 7BN
 Tel: 01452 255646
 Fax: 01452 255627
 Mob: 07929 029819
 cba@chrisburnett.co.uk
 www.chrisburnett-associates.co.uk

Client: **Chesterfield Borough Council**

Project: **Eastwood Park**

Scale: **1:500 @ A1**

Date: 21/08/08 Drawn: JHD Checked: CB

Drawn: JHD Checked: CB

Drawn: JHD Checked: CB

Draw No: **EPCP08.01** Revision: **1**



Date	Details	Revision
21/08/08	Addition of survey zones	1

© Chris Burnett Associates 2008. This plan should not be reproduced in whole or in part without prior written permission.

2.3.6 A section of original railing can be found in this shrubbery (photo **3**). The tarmac paths that provide access to this area are in poor condition with a poorly defined edge. A lawned, disused crazy golf course surrounded by a low fence, a 1.8m high close boarded fence and hawthorn hedge, (photo **4**) lies to the north of the hall.



2.3.7 To the east, a rather unattractive poorly designed and large, unevenly surfaced tarmac car park with 42 car parking spaces has become established which wraps around the east of the hall (photo **5**). A disused, brick built toilet block, closed due to vandalism, occupies a position to the north east of the hall and a brick built WW2 air-raid shelter is situated in this zone close to the hall.

2.3.8 To the east of the crazy golf course a large borough wide park maintenance depot exists, separated from the crazy golf course by a tall leylandii hedge and a tarmac footpath which connects the path with the neighbouring residential area and is a regular through route.



Zone 2: Enclosed Recreation Facilities

2.3.9 Zone 2 is a small compact part of the park which contains two well maintained bowling greens: one crown and one flat and a tennis court. The crown green is well used and has an accompanying small timber pavilion (photo **6**) and surrounding tarmac path which is in poor condition. On the south side the crown green is flanked by a tall beech hedge and railings (photo **7**). The flat green is enclosed by a tall 2.0m trimmed hawthorn and holly hedge on its north side, an untrimmed holly hedge on the east side and a bank of mature shrubs to the south. The tennis courts consist of one working tarmac court with a surface that needs refurbishment and one disused tennis court. The associated back netting has recently been replaced and is in largely good order, (photo **8**)





- 2.3.10 The park maintenance depot is concealed behind the flat green and is an extensive area of hardstanding, containers, skips and associated park maintenance machinery. It is enclosed on its southern and eastern margins by a mature 4.0 m high leylandii hedge and chain link or heras fence.

Zone 3: Open Park and Open Recreation Facilities

- 2.3.11 The largest zone in the park is the open park zone. This is separated from Zones 1 and 2 by a mature beech hedge and metal vertical bar railing fence. A zone of well cut grass which supports football pitches, the cricket square and play areas as well as informal recreational activity such as dog walking. A number of paths provide all weather access across and around this zone. It is defined on all sides by metal railings the most historic of which occurs along Hasland road in the form of ornate cast iron railings on a sandstone retaining wall (photo **9**). The vertical metal railings that define the western boundary however, were installed on a temporary basis some years ago and are now uneven and in generally poor repair.



- 2.3.12 The main pedestrian entrance off Hasland Road is looking tired and unwelcoming (photo **10**). The gates have not been painted recently and the pillars exhibit the effects of atmospheric pollution. One pillar has been damaged and the tarmac apron in front of the gates is also in a poor state with patch repair of the tarmac in evidence.
- 2.3.13 There are two play areas which are in separate areas of the park. The infant play area, (photo **11**) is in a low area in the north- west corner of this zone. It is surrounded by a wooden low picket fence and many of the items of play equipment are now well used and past their best. This area suffers from poor drainage.
- 2.3.14 A junior play area is located in the opposite corner of the park (photo **12**) and has a few limited items of equipment much of which are again old and past their best. The area is fenced off with a 1.2m high metal bow topped park fence.



- 2.3.15 Two tarmac surfaced paths traverse the open park and both have surfaces which are far from perfect. They are also narrow. The eastern path is only 1.0m wide in places and subject to undulation and poor drainage in the winter.
- 2.3.16 The cricket pitch is centrally located and roped off in the cricket season. A timber scoreboard structure is located on top of the base of an old disused bandstand base comprising sandstone with metal railings.
- 2.3.17 The main football pitch is located slightly west of centre and has two removable goal posts. A smaller kick-about pitch is located to the east of the main path with two small goal posts. This area still exhibits ridge and furrow, testimony to the agricultural origins of this area.
- 2.3.18 Both cricket and football users have no dedicated pavilion but use a metal container, located near the tennis courts, to change in.



- 2.3.19 Mature trees surround the western perimeter and provide a soft screen to the housing which encloses the western boundary. The eastern boundary is more diffuse with no mature trees although some smaller ones have been planted in recent years. The Hasland road boundary is well populated with mature trees, mostly lime and wych elm, two of which have recently succumbed to Dutch elm disease.

- 2.3.20 The war memorial stands at the main entrance to the park (photo **13**). Although the stone statue and the surrounding metal railings are in good condition, the railings and internal planting appear too close to the memorial.
- 2.3.21 A limited number of seats exist in the park, which are in reasonable condition but of varying styles. Most have metal ends, arms and timber slats. The seats along the eastern perimeter have been the focus of antisocial behaviour in the past.



Drainage

- 2.3.22 Eastwood Park has had a history of bad drainage, particularly during periods of heavy rain. Areas affected include the fountain area, the area to the north-west of the fountain and the main access road into the park. Officers of Chesterfield Borough Council and Kier Asset Partnership have addressed this issue, including options for alleviation and recommendations have now been incorporated into the proposals (section 7).

Tree survey

- 2.3.23 The results of the tree survey are listed below. The majority of the trees within the park appear to be in reasonable health at the time of survey although there are several large mature specimens of beech which are nearing the end of their lifespan and maybe prone to structural failure without warning. It may therefore be prudent to undertake a detailed arboricultural assessment of these trees by a fully qualified arboriculturalist. Several horse chestnut trees: nos. 48 and 23 are dying and should be felled before limb drop occurs. The two wych elms tree nos. 65 and 66 on the Hasland road perimeter that are suffering from Dutch elm disease should also be felled. The remainder of the trees in the park, with the exception of a young wych elm which is in the centre of the proposed play area (see section 7) should be retained.

Fig 2.3.2

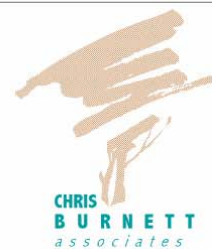


Eastwood Park: Tree Survey

0 10.0 20.0
metres

Date	Details	Revision
21/08/08	Identification of trees 103-116.	1

© Chris Burnett Associates 2008. This plan should not be reproduced in whole or in part without written permission.



Landscape Architects

White House Farm
Shocklach, Malpas
Chester SY14 7BN
Tel: 01829 250646
Fax: 01829 250527
Mob: 07809 029810
chris@cb-a.net
www.chris-burnett-associates.co.uk

Client **Chesterfield Borough Council**

Project **Eastwood Park**

Scale **1:500 @ A1**

Date **21/08/08** Drawn **JHD** Checked **CB**

Dwg No. **EPCP08.02** Revision **1**



Tree schedule (see Fig 2.3.2 for details)

No	Species	Girth	Condition	Age	Notes
1	Horse Chestnut	900	poor	mature	Some rot in upper trunk monitor
2	Lime	1100	good	mature	
3	Holly	200	good	semi-mature	
4	Sycamore	1000	reasonable	mature	Poor crown
5	Lime	750	good	mature	
6	Yew	500	good	semi-mature	
7	Sycamore	900	good	semi-mature	
8	Yew	100	good	young	
9	Yew	200	good	young	
10	Cherry	300	good	young	
11	Lime	1100	good	mature	
12	Lime	600	good	mature	
13	Horse Chestnut	900	good	mature	
14	Lime	700	good	semi-mature	
15	Lime	800	good	semi-mature	
16	Lime	500	good	semi-mature	
17	Lime	500	good	semi-mature	
18	Lombardi Poplar	600	good	semi-mature	
19	Maple	200	good	young	
20	Maple	400	good	young	
21	Acer pseudoplatanus 'Crimson King'	300	poor	young	Dying back in crown
22	Cherry	400	good	mature	
23	Horse Chestnut	500	poor	semi-mature	Poor condition rot evident
24	Horse Chestnut	700	poor	semi-mature	Poor condition fell rot evident
25	Ash	900	good	mature	
26	Elm	300	good	young	
27	Ash	1500	good	mature	
28	Lombardi Poplar	900	good	semi-mature	
29	Cherry	400	good	mature	
30	Lombardi Poplar	900	good	semi-mature	
31	Oak(Turkey)	800	reasonable	semi-mature	
32	Lime	900	good	mature	
33	Lime	900	good	mature	
34	Beech	1100	good	mature	Full inspection recommended
35	Beech	1100	good	mature	Full inspection recommended
36	Beech	800	good	semi-mature	
37	Beech	700	good	semi-mature	
38	Beech	600	good	semi-mature	
39	Sycamore	500	good	semi-mature	
40	Cherry	300	good	young	
41	Holm Oak	150	good	young	
42	Sycamore	600	good	semi-mature	
43	Whitebeam	150	good	young	
44	Sweet Chestnut	200	good	young	
45	Cherry	500	poor	mature	
46	Lime	300	good	young	

47	Sycamore	1000	poor	mature	Poor crown
48	Horse Chestnut	900	poor	mature	Poor condition , recent tree surgery
49	Maple	150	good	young	
50	Beech	150	good	young	
51	Cherry	300	reasonable	young	
52	Beech	200	reasonable	young	
53	Alder	300	poor	mature	Hollow trunk
54	Sycamore	150	good	young	
55	Lime	600	good	mature	
56	Oak (Pin)	200	good	young	
57	Lime	900	good	mature	
58	Wych elm	900	good	mature	
59	Wych elm	900	good	mature	
60	Wych elm	900	good	mature	
61	Horse Chestnut	800	poor	mature	
62	Horse Chestnut	800	poor	mature	
63	Lime	400	reasonable	semi-mature	
64	-	-	-	-	felled
65	Ash	800	good	semi-mature	Diseased : fell
66	Cherry	800	good	semi-mature	Diseased : fell
67	Sycamore	700	reasonable	semi-mature	
68	Cherry	400	good	semi-mature	
69	Lime	500	good	semi-mature	
70	Lime	400	good	semi-mature	
71	Sycamore	600	good	mature	
72	Cherry	500	good	semi-mature	
73	Beech	1100	good	mature	
74	Beech	1000	good	semi-mature	
75	Elm	700	good	semi-mature	
76	Sycamore	500	good	semi-mature	
77	Whitebeam	150	poor	young	Bark stripped
78	Sycamore	1000	reasonable	mature	Poor crown
79	Poplar	200	good	young	
80	Cherry	400	good	semi-mature	
81	Cherry	150	reasonable	young	
82	Whitebeam	150	good	young	
83	Whitebeam	150	good	young	
84	Whitebeam	200	good	young	
85	Lime	150	good	young	
86	Cherry	200	good	young	
87	Beech	1000	good	mature	
88	Lime	900	good	mature	
89	Sycamore	600	good	semi-mature	
90	Lime	700	good	semi-mature	leaning
91	Sycamore	400	good	semi-mature	
92	Lime	600	good	mature	
93	Lime	700	good	mature	
94	Sycamore	900	good	mature	
95	Maple	150	poor	young	Basal bark damage
96	Sycamore	900	good	mature	
97	Lime	800	good	mature	

98	Sycamore	600	good	semi-mature	
99	Sycamore	700	good	mature	
100	Cherry	300	good	young	
101	Wych elm	900	good	mature	
102	Lime	900	good	mature	
103	Chamaecyparis lawsoniana	150	good	young	
104	Fir	150	good	young	
105	Holly	175	good	young	
106	Cherry	200	poor	semi mature	
107	Acer pseudoplatanus 'Crimson King'	400	good	young	
108	Acer pseudoplatanus 'Crimson King'	400	good	young	
109	Acer pseudoplatanus 'Crimson King'	200	good	young	
110	Acer pseudoplatanus 'Crimson King'	300	good	young	
111	Chamaecyparis lawsoniana	150	good	young	
112	Chamaecyparis lawsoniana	150	good	young	
113	Chamaecyparis lawsoniana	150	good	young	
114	Birch	75	good	young	
115	Birch	75	good	young	
116	Field maple	75	good	young	

Village hall condition survey – (supplied by Chesterfield Borough Council)

EXTERNAL

Roof - Cupola

- 2.3.24 Originally designed as a ventilation terminal, the original louvre has been covered with horizontal boarding. The full condition cannot be determined without the aid of an inspection platform, however it is assumed that major replacement of components will be required.

Roof - Main Hall

- 2.3.25 The slate roof appears to be in good condition, however around 75 No. damaged or missing slates require replacement. As the fascia has been removed, the slating at eaves level has dropped and slates have slipped. The provision of a new fascia, tilting fillet and associated roofing felt will be necessary to rectify this. The half-round ridge tiles have replacements of different size and colour and some mortar pointing is missing. The ridge tiles should be fully replaced. Flashings to the abutments to the 2 No gable parapets require attention and possible replacement. For safety reasons no internal inspection of the roof void was carried out.

Roof – Front porch.

- 2.3.36 This flat roof has very recently been re-covered in built-up felt. It is recommended that in the long term a high performance finish should be applied.

Roof - Front rooms

- 2.3.27 The flat roof to the meeting room and kitchen area has an asphalt finish. Damage has occurred from the air monitoring equipment placed on the roof. This has caused minor penetrations to the asphalt surface. The asphalt up-stands are also defective as a result of thermal movement. Complete replacement of this roof covering is recommended.

Roof - Rear extension

- 2.3.28 The flat roof over the stage and toilet/store areas is covered in a built-up felt finish which looks reasonably new. However, there are numerous areas of wet staining on ceilings. These may be from water penetration of this or the previous covering. It is recommended that the roof covering be replaced with a high performance finish.

Roof – Toilet extension

- 2.3.29 The plain concrete tiles to this pitched roof are in a satisfactory condition but are not sympathetic to the roof materials used on the main hall roof.

Roof – Boiler room access

- 2.3.30 This has an asphalt finish which is approaching the end of it's life. It is recommended that this should be replaced with a high performance covering.

RAINWATER GOODS

- 2.3.31 Gutters to the main hall have been replaced with a seamless aluminium type that has been fixed in the wrong position. This should be replaced with a high capacity, cast aluminium gutter, retaining original hopper heads where possible but renewing any plastic replacements with new hoppers in a suitable style and material to match original one's. PVC down-pipes should also be replaced with cast aluminium.

- 2.3.32 Rainwater to the other roof areas is collected via hoppers from the flat roofs. Any PVC rainwater goods should be replaced and the condition of all leadwork should be inspected for failure. All hoppers need to have leaves and debris removed and their operation checked to ensure there are no blockages or leaks. Missing and damaged gully grates need to be replaced.
- 2.3.33 One rainwater down pipe and hopper discharging from the flat roofs at the rear of the hall building is identified as probably being asbestos. This needs to be replaced with a down pipe and hopper in a suitable style and material.

WALLS

- 2.3.34 The majority of walling is of 1½ brick thick solid construction, however, the main hall has panels below windows that are reduced to only 1 brick thick. There is no plaster finish to the main hall, therefore the insulation is very low. All windows are only of single glazed construction. Steps should be taken to improve the thermal insulation as 'U' values are well below the current building standards. However, most methods which would increase thermal insulation would detract from the original character of the building.
- 2.3.35 Many areas of walling have suffered water damage either through rising damp or defective rainwater goods and as a result approximately 350 No. bricks require replacing. The main building has no damp proof course evident. Although there are some signs of damp penetration, internally there is no serious damage from dampness. It is recommended that a damp proof course should be provided to the main hall. Other parts of the building have bitumen or PVC damp proof courses and appear to be sound.
- 2.3.36 There are isolated areas of defective and poor quality pointing. However, it is recommended that the whole building be re-pointed to improve both appearance and resistance to water penetration. This pointing work should include the stone copings to the 2 No gable parapets.
- 2.3.37 The building has suffered from mining subsidence over many years but most of the cracking appears not to be recent. The majority of these cracks run through the large window arched lintels, continuing along the weakest point, where the wall thickness is reduced to one brick thick. All these cracks require pointing, however if the windows should be replaced many of the brick arches would need rebuilding.
- 2.3.38 In a number of the brick arch features there is evidence of both horizontal and vertical movement having taken place, resulting in displacement of the voussoirs and cracking of the associated mortar joints. Generally, differential thermal movements in the wall panels and roof structure are likely to be the cause of these defects.
- 2.3.39 At the north end of the hall the gable wall appears to have 'settled' with respect to the adjacent east and west side walls; diagonal cracking being present at the north end of these external side walls.
- 2.3.40 The gable at the north end of the hall also appears to be misaligned vertically, this being apparent in the upper surface of the stone coping blocks which slope from the south face of the gable, downwards, to the north (roof side) face. Further detailed investigation of the gable construction and any necessary repairs is needed.

- 2.3.41 At the external wall to the east elevation there is evidence of subsidence cracking at the centrally located buttress and also in the wall panels either side of this. Apparently some of the cracking was re-pointed earlier this year, however, further crack defects in the re-pointing suggest that the movement is ongoing. The damage may be the result of shallow mine workings, leaking drains, or some other inadequate bearing stratum.
- 2.3.42 As outlined above it is thought that water from a blocked or broken drain may be undermining the foundation. Investigation into this problem is to be carried out immediately by the councils facilities maintenance team.
- 2.3.43 1No terracotta air-grate is broken and requires replacement.

WINDOWS

- 2.3.44 Windows to the main hall are generally in reasonable condition and do not require wholesale replacement, except to improve thermal insulation which is well below current standards.
- 2.3.45 An alternative may be to provide secondary glazing, however this would cause problems in ventilating the hall. Reluctantly therefore it may be necessary to replace the existing windows to achieve acceptable levels of thermal insulation.
- 2.3.46 The existing main windows have a cord operated pivot for ventilation and if retained, the operation should be checked and possibility examined of providing a mechanical winding device to open the pivot.
- 2.3.47 The two circular windows to the front elevation are sound and only require repainting if retained. However the same issue of low thermal insulation applies.
- 2.3.48 The meeting room and lobby windows are steel in timber sub-frames. Although the condition is quite good most of the ironmongery is in need of replacement. It is recommended that these windows be replaced with double glazed frames. Other windows are timber and would be more economical to renew. There are no security devices to any of the windows and these should be upgraded accordingly.
- 2.3.49 Most of the window sills that are formed in plain tiles require re-bedding and pointing.

RAMPS

- 2.3.50 The 2 No ramps to the rear entrance/exit doors do not conform to height, width or landing requirements to comply with DDA legislation. The existing timber handrails provided are both unsafe and inadequate. If retained, these ramps and handrails need to be replaced or modified.
- 2.3.51 The shallow ramp to the hall side emergency exit has no guarding or markings to keep clear. These need to be provided to comply with DDA requirements.
- 2.3.52 The ramp to the front door requires guarding to comply with DDA requirements.

PATH AREAS

- 2.3.53 Paths to the perimeter of the buildings are generally in a poor condition, especially to the west elevation. Large areas of these paths should be renewed.

EXTERIOR LIGHTING

- 2.3.54 Exterior lighting is inadequate, a new lighting system should be incorporated to improve safety, security and aesthetics.

INTERNAL**ENTRANCE LOBBY/ MAIN HALL**

- 2.3.55 The entrance lobby is separated from the main hall by a timber screen with 3 pairs of doors, which appears to be an original feature. The screen and doors have suffered through movement, although this appears not to be recent. It has generally tilted downwards towards the SW corner of the main hall. Glazing to the doors is inconsistent with many different types of glass used within the door panels.
- 2.3.56 The entire screen, doors and ironmongery needs to be substantially renewed or completely replaced with a new screen to improve it's performance to meet fire requirements and provide an effective fire barrier to protect circulation areas.
- 2.3.57 The ceiling to the entrance lobby is formed from tongue and groove boarding and is used as storage space above. There is no insulation at this portion of the building with the void above reaching up to the underside of the roof. Any proposed design should take measures to correct this defect.
- 2.3.58 The main hall ceiling is constructed using fibreboard with taped joints and based upon photographic evidence was a later addition to the hall. This ceiling is cracked and damaged in places and should be replaced with a higher performance, better insulated suspended ceiling.
- 2.3.59 The walls to both areas are painted brickwork and are in reasonable condition except for flaking paint close to floor level caused by dampness.
- 2.3.60 Doors and ironmongery are in poor condition and should be replaced.
- 2.3.61 The floor to both rooms is a timber 'parquet' type that as a minimum requires sanding and re-sealing. The floor also has a fall over part of it's area towards the south and south west corner. This tilt in the floor echoes the tilt in the panelled dividing screen and doors between the hall and entrance lobby. Further consideration is required on the merit of trying to correct this as it may present more problems than it solves.

LOBBY

- 2.3.62 The fibreboard ceiling has s/w laths over joints and has some evidence of leaks. How recent these are is unknown. It is recommended that if retained this ceiling should be replaced with one of a higher performance. The walls are painted brickwork and offer minimal insulation. These as a minimum should be insulated/plastered to help raise the thermal performance in this area.

- 2.3.63 The floor is formed of a herringbone parquet-type that as a minimum requires sanding and sealing.
- 2.3.64 The doors and ironmongery are generally in a poor condition and need to be replaced.
- 2.3.65 A timber padlocked cupboard houses all the electric supplies for the whole of the park complex. A new secure cupboard is required with switches and boards clearly marked for their use.

MEETING ROOM

- 2.3.66 This room has a plaster ceiling and walls that are in reasonable condition.
- 2.3.67 The floor is in herringbone parquet that requires as a minimum sanding and sealing. Doors and ironmongery are in poor condition and should be replaced. The built-in cupboards have old doors with padlocks. These doors if retained should be replaced with secure mortice locking.

KITCHEN

- 2.3.68 The ceiling is plastered and in good condition.
- 2.3.69 Walls are of plastered or painted brickwork.
- 2.3.70 The solid floor has a welded seam vinyl, which is in good condition.
- 2.3.71 The kitchen fittings are in good condition, however the inadequate domestic cooker does not have worktops at each side for safety. The taps should be changed to a 'lever' type. A full height timber cupboard should be replaced or removed as it is old and worn with poor quality ironmongery.

REAR LOBBY / STAGE AREA

- 2.3.72 The ceilings in this area are fibreboard of poor quality and should be replaced with a new higher performing ceiling finish. Staining indicates roof leaks, however it is not known if this is recent damage.
- 2.3.73 Walls are generally painted brickwork (plasterboard and stud to store/toilet wall) and require upgrading to provide a better finish and a higher performance. The option to insulate and plaster the walls needs to be considered.
- 2.3.74 Floors are timber (vinyl covered) and are in a poor condition. Dependent upon future use these may need renewal.
- 2.3.75 Each side door to the stage has an open tread set of steps with one open handrail. The steps do not conform to safety requirements and should be removed and if necessary replaced with a compliant solution. The necessity for two sets of steps should be reviewed as one set may suffice for most uses.
- 2.3.76 The entrance door to the east side lobby has damage to the head lintel area, thought to be caused by loose fixings when slamming the 'push-bar' latch.
- 2.3.77 The separate rear store has a wash hand basin which should be removed.

LADIES WC

- 2.3.78 The ceilings in this area are fibreboard of poor quality and should be replaced with a new higher performing ceiling finish. Staining indicates roof leaks, however it is not known if this is recent damage.
- 2.3.79 Walls are generally painted brickwork (plasterboard and stud to store/toilet wall) and require upgrading to provide a better finish and a higher performance. The option to insulate and plaster the walls needs to be considered.
- 2.3.80 Floors are timber (vinyl covered) and are in a poor condition. Dependent upon future use these may need renewal.
- 2.3.81 Sanitary fittings are in reasonable condition but lever taps should be fitted to 3 No wash hand basins. The unisex/baby change has defective hand rails. The entire toilet area if retained needs to be brought up to current DDA standards.

MALE WC

- 2.3.82 There is evidence that this area which is a much later addition to the main building has suffered from movement most likely as a result of mining settlement. The extension has moved along its brickwork bed joints at dpc level in its south west corner and this has translated itself into cracking internally.
- 2.3.83 The ceilings are plastered but have several movement cracks, as do the plastered walls.
- 2.3.84 The existing vinyl floor finish is in good condition, however there is a steep ramp between the lobby and urinals/WC area which is a hazard and should be 'designed out' of any future proposals.
- 2.3.85 The WC has defective handrails.
- 2.3.86 The entire toilet area if retained needs to be brought up to current DDA standards.

HEATING SYSTEM

- 2.3.87 It is thought that the existing gas fired central heating system, situated in the cellar, was installed about 15 years ago. Radiators and pipework externally are in good condition, however the boiler at this age must be nearing the end of its economical life and is not up to current standards for efficiency or emissions. Alterations to the hall may result in re-siting the boiler room to a ground floor location. With any alterations to the floor plan it would then make economical sense to completely renew the heating system.

ELECTRICS

- 2.3.88 The general condition of the mains incoming supply and distribution is poor and in need of upgrading. The mains distribution needs rationalisation as all the parks buildings and lighting are controlled from one point in the entrance lobby. Positions of sockets and switches are poorly laid out and heights do not meet DDA requirements. This together with the provision of electrical services to any proposed extensions would necessitate a complete rewire.
- 2.3.89 Hearing loops are not provided in the main hall or meeting room. Any future proposals would require a system incorporating in to all public rooms.

EMERGENCY LIGHTING

2.3.90 There is virtually no existing system, a new system is therefore required.

FIRE ALARM

2.3.91 Although the system remains serviceable, extending the building would necessitate provision of a new fire alarm panel and associated new detectors.

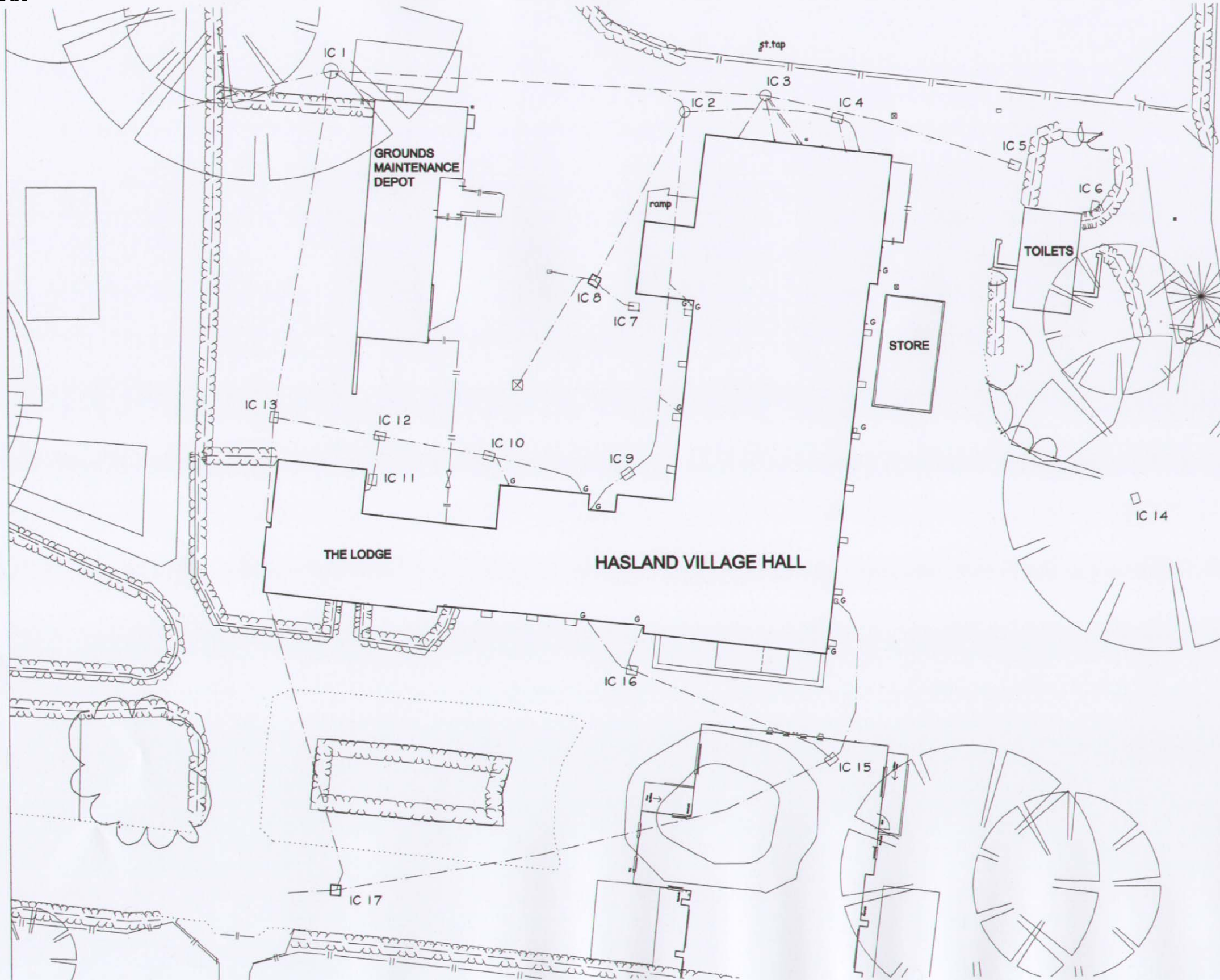
SECURITY ALARM

2.3.92 Security generally is a particular problem. All doors and windows require upgrading in this respect and an intruder alarm system to police specification should be fitted.

GENERAL - DOORS

2.3.93 All doors require new ironmongery and may well need replacement to conform to current fire or security requirements.

Site Layout



Inspection Chambers			
IC No	Size	Depth	Note
1	900/900	800	Backstop
2	750/750	1200	
3	900/900	1240	
4	450/600	850	
5	600/600	700	
6			
7	600/600	700	
8	750/750	800	
9	600/600	600	
10			
11			
12			
13			
14			
15	600/600	750	
16			
17	600/750	1100	SW

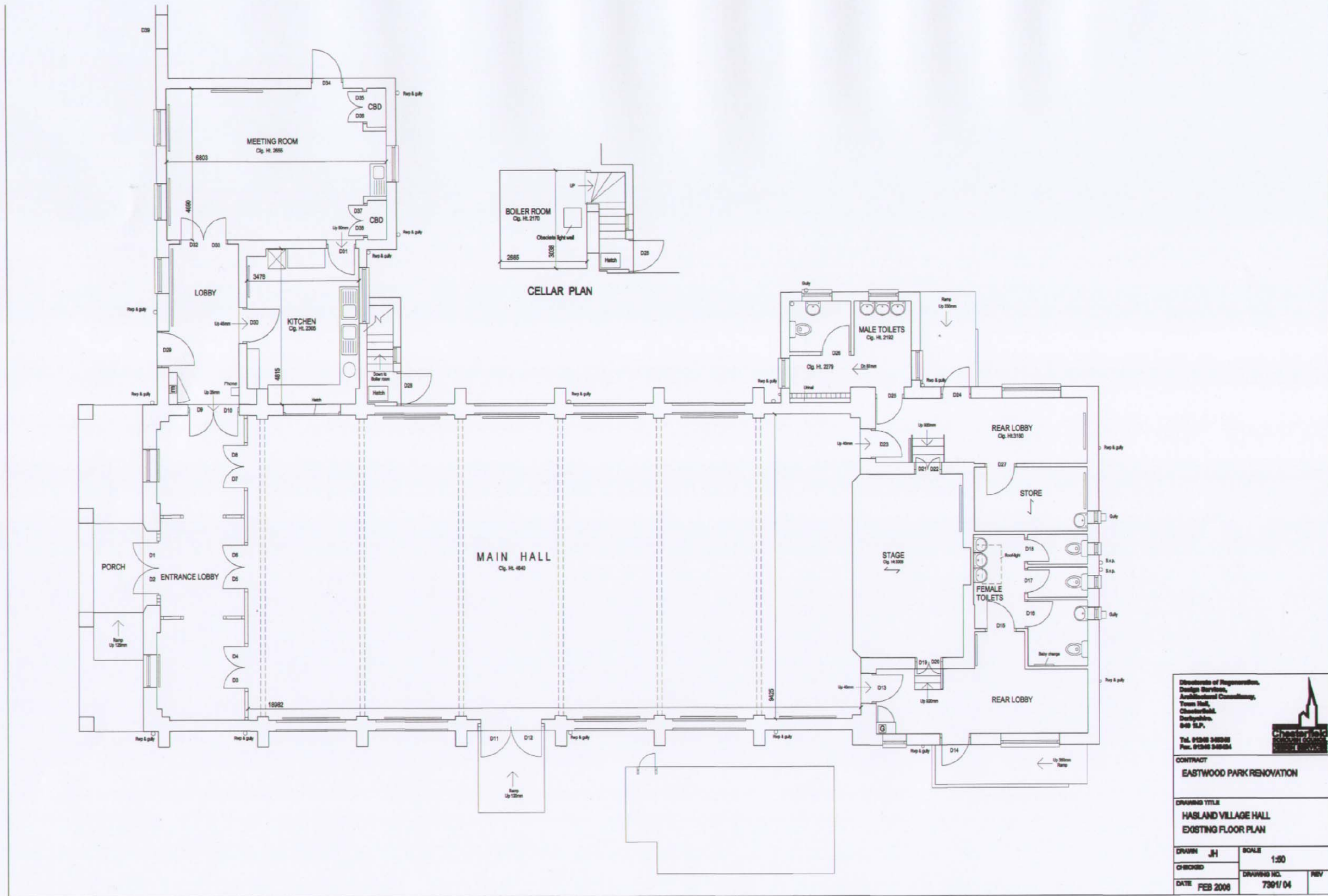
Divisions of Regeneration,
 Design Services,
 Architectural Consultancy,
 Town Hall,
 Gloucester,
 Gloucestershire,
 GL1 2EP.
 Tel: 01452 541848
 Fax: 01452 541824

CONTRACT
 EASTWOOD PARK RENOVATION

DRAWING TITLE
 SITE LAYOUT

DRAWN	SCALE	1:100
CHECKED	DRAWING NO.	7921 / 02
DATE	REV	
JUNE 2008		

Plan of Village Hall

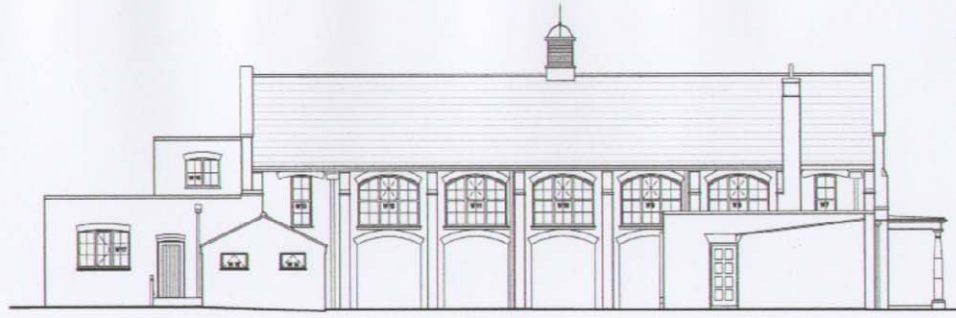


Division of Regeneration, Design Services, Architectural Consultancy, Town Hall, Chesterfield, Derbyshire, S40 3LP.		
Tel. 01246 34884 Fax. 01246 34884		
CONTRACT EASTWOOD PARK RENOVATION		
DRAWING TITLE HASLAND VILLAGE HALL EXISTING FLOOR PLAN		
DRAWN JH	SCALE 1:50	
CHECKED	DRAWING NO. 7301/04	REV
DATE FEB 2008		

Village Hall elevations



SOUTH ELEVATION



WEST ELEVATION



ENTRANCE DOOR DETAIL



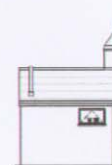
NORTH ELEVATION



EAST ELEVATION



BOILER ROOM ACCESS / KITCHEN



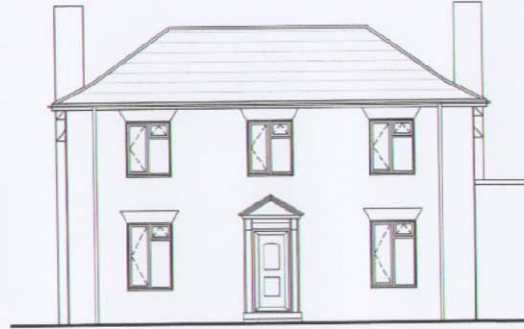
TOILET BLOCK - SOUTH ELEVATION

Division of Regeneration, Design Services, Architectural Consultancy, Team Hall, Chesham, Dorset, BA9 5JA. Tel: 01258 24026 Fax: 01258 24026		
CONTRACT EASTWOOD PARK RENOVATION		
DRAWING TITLE HASLAND VILLAGE HALL EXISTING ELEVATIONS		
DRAWN: JH	SCALE: 1:100	
CHECKED:	DRAWING NO: 730/1/05	REV:
DATE: FEB 2008		

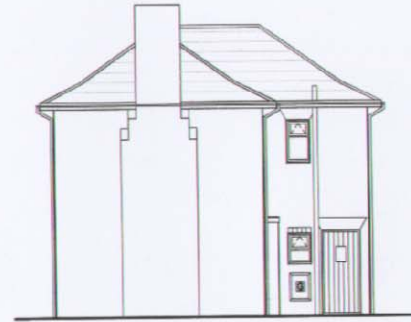
Caretaker's Lodge



EXISTING SIDE ELEVATION (WEST)



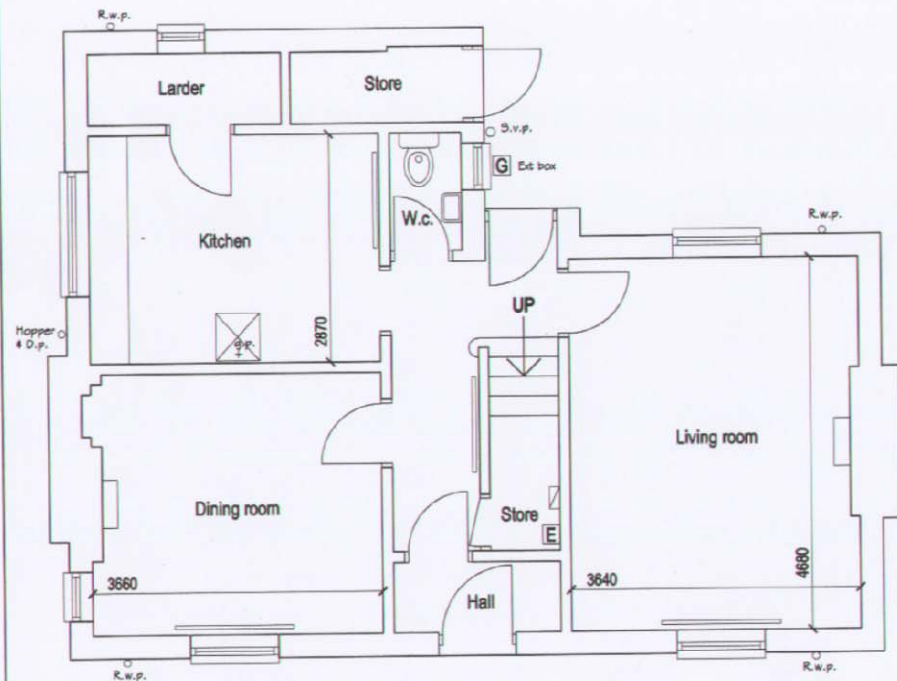
EXISTING FRONT ELEVATION (SOUTH)



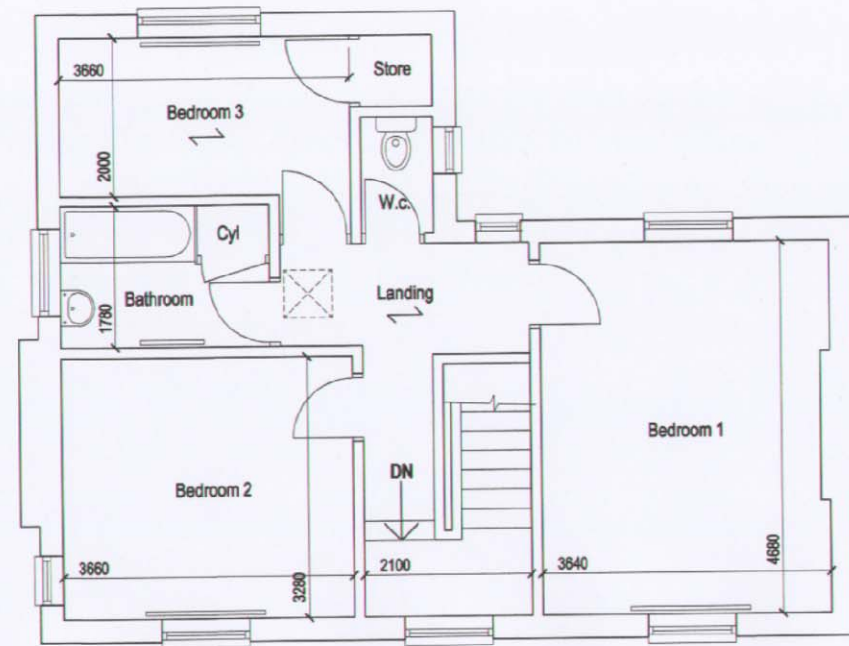
EXISTING SIDE ELEVATION (EAST)



EXISTING REAR ELEVATION (NORTH)



EXISTING GROUND FLOOR PLAN



EXISTING FIRST FLOOR PLAN

Directorate of Regeneration,
 Design Services,
 Architectural Consultancy,
 Town Hall,
 Chesterfield,
 Derbyshire,
 S40 1LP.
 Tel: 01246 348348
 Fax: 01246 348324



CONTRACT
 EASTWOOD PARK RENOVATION

DRAWING TITLE
 THE LODGE
 EXISTING PLANS & ELEVATIONS

DRAWN	JH	SCALE	1:50 & 1:100
CHECKED		DRAWING NO.	7301 / 06
DATE	APR 2008	REV	

2.4 Analysis of the Park Landscape

Introduction

2.4.1 Following on from the historical development of Eastwood Park and condition surveys outlined in the previous sections, the significant areas and features of the park are assessed below.

The main themed headings include:

- Boundaries and layout of the park
- Planting and gardens areas
- Historic structures

Boundaries and Layout

2.4.2 Eastwood Park is on the site of the former Hasland House and early OS Maps show the area before it was developed as a public park. Maureen Pearce describes the grounds to Hasland House as follows, “...*At the side of the house were several outbuildings which included a stable block. This was demolished and plans were drawn up for new premises on the site (village hall). The grounds of the house were entered from Chapel Lane not through the gates we know today. Before the ground was leveled there was a wooden bridge, which spanned a ditch. It is possible there was a stream which took the overflow from the fountain and water gardens...*”

2.4.3 Once the site was purchased by Alderman Eastwood in 1912 plans were made by the Borough Surveyor to turn it into a public open space. On 6th May 1913 the Borough Surveyor, “...*submitted plan of proposed circular carriage drive from the main entrance gates at Eastwood Park and of the cross road there from into Hoole Street and intimated the intention of Alderman Eastwood to defray the incidental cost...*”⁵⁴ (This is the path eventually leading to the fountain.) The Derbyshire Times in 1913 also mentions the alteration to the main drive, “...*The old carriage-way, it was seen, had been diverted to connect with the new entrance and the roadway, raised to uniform level, treated with coloured surfacing...*” The initial costs of these developments are shown in the table below.

Estates and Development Committee		5th August 1913
Name	Particulars	£. s. d.
Highway Committee	Laying out Eastwood Park and constructing embanked carriage way, etc.	285 19 7
John Wright	Balance of Account erecting front palisade wall, etc., Eastwood Park	100 17 4
H. W. Turner	Balance of Account fencing front wall, etc., Eastwood Park	94 12 0
John G. Shields	Gravel, Eastwood Park	78 17 9

⁵⁴ Recorded in Estates and Development Committee minutes of Chesterfield Corporation, Tuesday 6th May, 1913

- 2.4.4 These first major developments are illustrated on **Fig 2.4.1** showing initial ‘improvements’ in green and those park features added by the end of the 1920s in orange. **Fig 2.4.2** also illustrates how the path network has developed over the years and also shows the small extension to the park made in 1971. The Derbyshire Times in 1913 adds further details on the park paths. “... *The grounds have been tastefully laid out under the direction of the Borough Surveyor (Mr. Vincent Smith) and the material used on the drives is the celebrated Breedon footpath gravel. It was supplied by Mr. J. Shields of the Breedon and Cloud Hill Lime Works, Isley Walton, near Derby...*”
- 2.4.5 The main layout of the park as developed over the first 10 to 15 years is still in place today. The facilities are mostly well used, although some have been neglected and are no longer serving their original purpose. The boundary railings are now largely in a poor condition and inevitably, the Breedon gravel paths have given way to tarmac – a more robust if utilitarian surface.

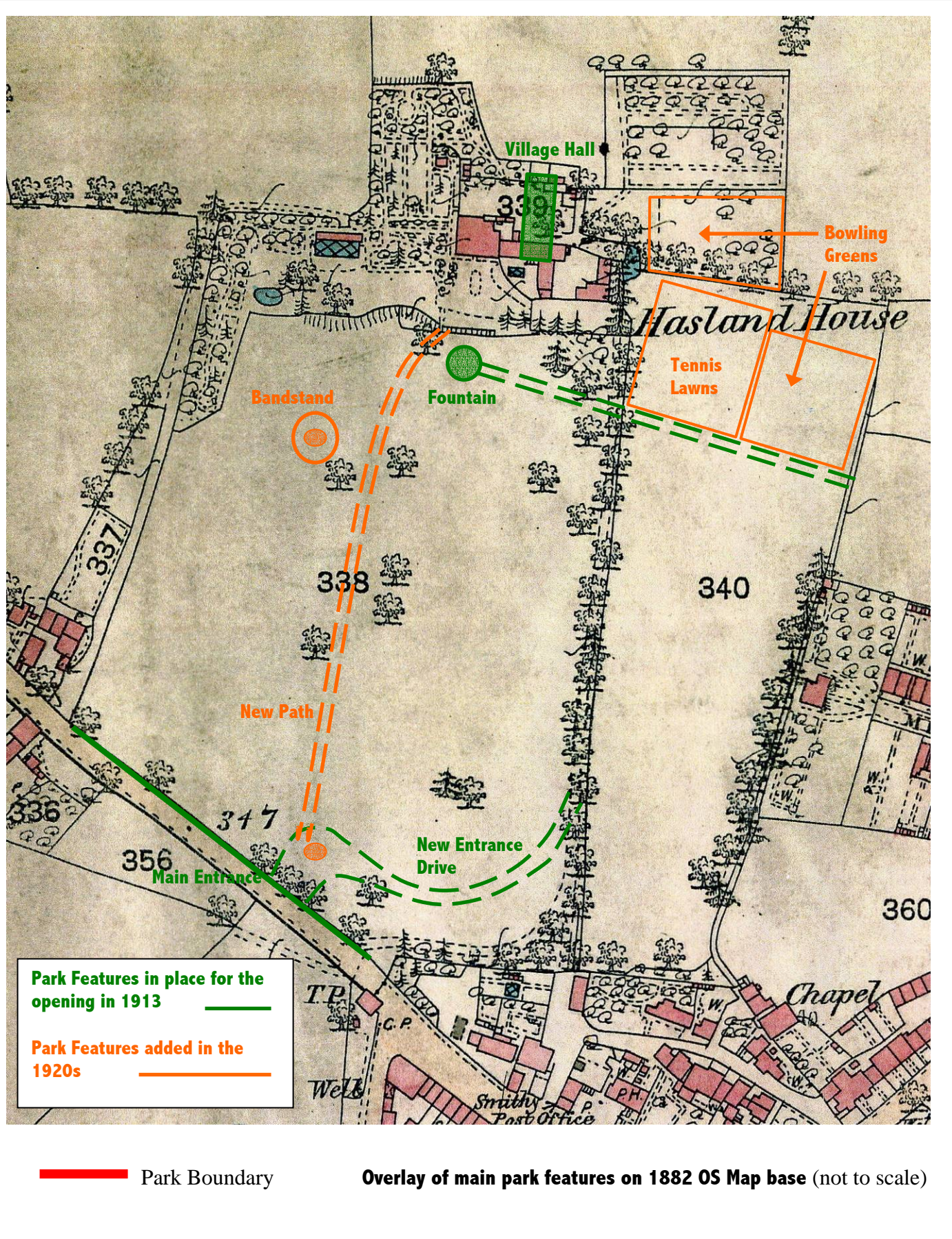
Planting – Parkland and Garden Trees

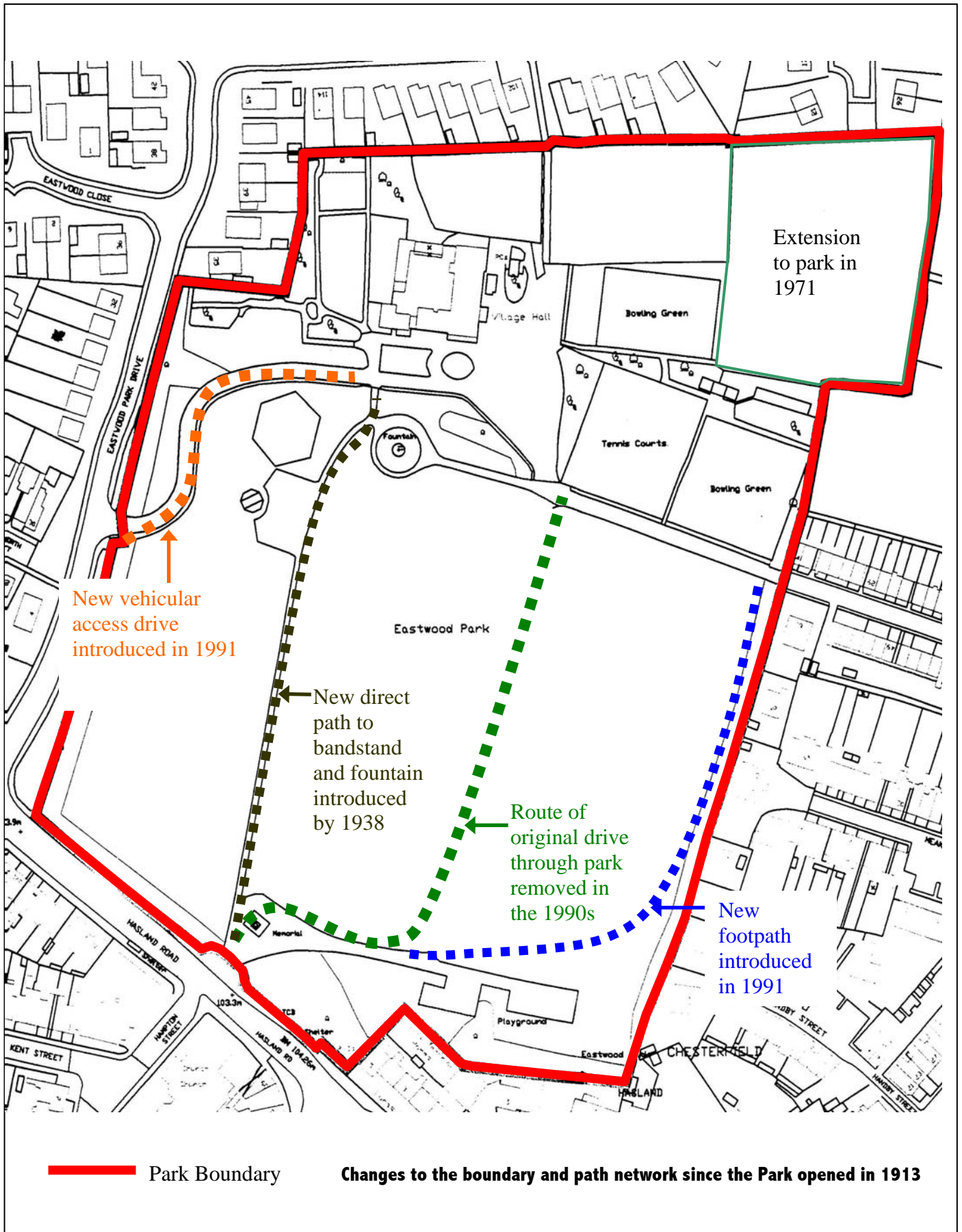
- 2.4.6 A comparison between the first edition OS Map, scale 25” to 1 mile, of 1882 with the present day reveals that a lot of the mature ‘parkland’ trees have now gone. Significant trees that do remain include the mature beech, lime and horse chestnut around the house site and the street trees along Hasland Road. Most of the trees along the original drive through the park and in the fields have gradually been removed to facilitate the playing of football and cricket. However a number of mature trees do remain in the vicinity of the house site to justify the epithet described in the Chesterfield Courier article of 1913. “... *At the sides and rear of the house clumps of ancient trees – oak, ash, beech, sycamore, fir, holly and laburnum – afford the ‘cool shade’ of wooded depths and make the curious twisting paths which have been laid out a charming retreat from summer heat and glare...*” Several of the mature trees, particularly the horse chestnuts around the Village Hall, are in a poor condition (see previous section 2.3).

Planting – Gardens around the Hasland House

- 2.4.7 Very little was needed in terms of new planting as the property was already well stocked with trees and formal garden areas. For example, “... *Immediately in front of the house the view has been coloured by the introduction of a circular rose-garden, centred with a large fuschia tree, and the gardens on either side made bright with the blooms of the season...*” Planting introduced into the new park initially included the circular bed in front of the main gates and the creation of a water garden around the fountain (see table). This was followed by the introduction of another circular bed together with lawn areas in front of the new Village Hall.

Estates and Development Committee		5 th August 1913
Name	Particulars	£. s. d.
R. W. Proctor and Sons	Plants and making rockery etc., round Fountain basin, Eastwood Park	37 17 0
R. W. Proctor and Sons	Supplying and planting shrubs, etc., circular bed, Eastwood Park	14 0 7
R. W. Proctor and Sons	Decorating platform, hire of plants, etc., Eastwood Park opening	5 4 0





- 2.4.8 Map evidence shows that the garden area to the western side of the former mansion has changed little since the park was formed (**Fig 2.4.3**). The layout is the same although the quality and character of the planting has evolved over the years. Maureen Pearce remembers the gardens around the house as follows, “...*At the side of the house were some well laid out gardens with small beds filled mainly with roses, edged with grass and divided by paths, shrubs and bushes. These were known by we youngsters, and others no doubt, as the puzzle gardens. Plants for the gardens were grown in large greenhouses at the side and back of the house...*”



- 2.4.9 The rear of the former mansion, which was, “...*a somewhat extensive kitchen and flower garden, and a plot adjoining, once used as a bowling green, has latterly done service as a tennis court...*” has now gone. Other early features have also disappeared, “...*To the left of the house a large greenhouse and vinery serves as a potting place and storehouse for garden renewals and a short distance away an elliptical pond affords further opportunities for decorative effect...*” The pond is no longer in place but the exact position of the former green house and vinery is demarcated by a lawn area within the surviving footpath network (**Fig 2.4.4**).



- 2.4.10 The Chesterfield Courier of 1913 was particularly impressed with the views from the house, “...*The view from the rear is a wide open sweep of country, and from the front, the distance at which the house is situated gives an OUTLOOK OF BRIGHT VERDANT GREEN spotted with the warmer colours of the flower bed...*” Of course, the rear has since been developed as a housing estate curtailing any views from the north side of the house site.

Water garden and streamlet

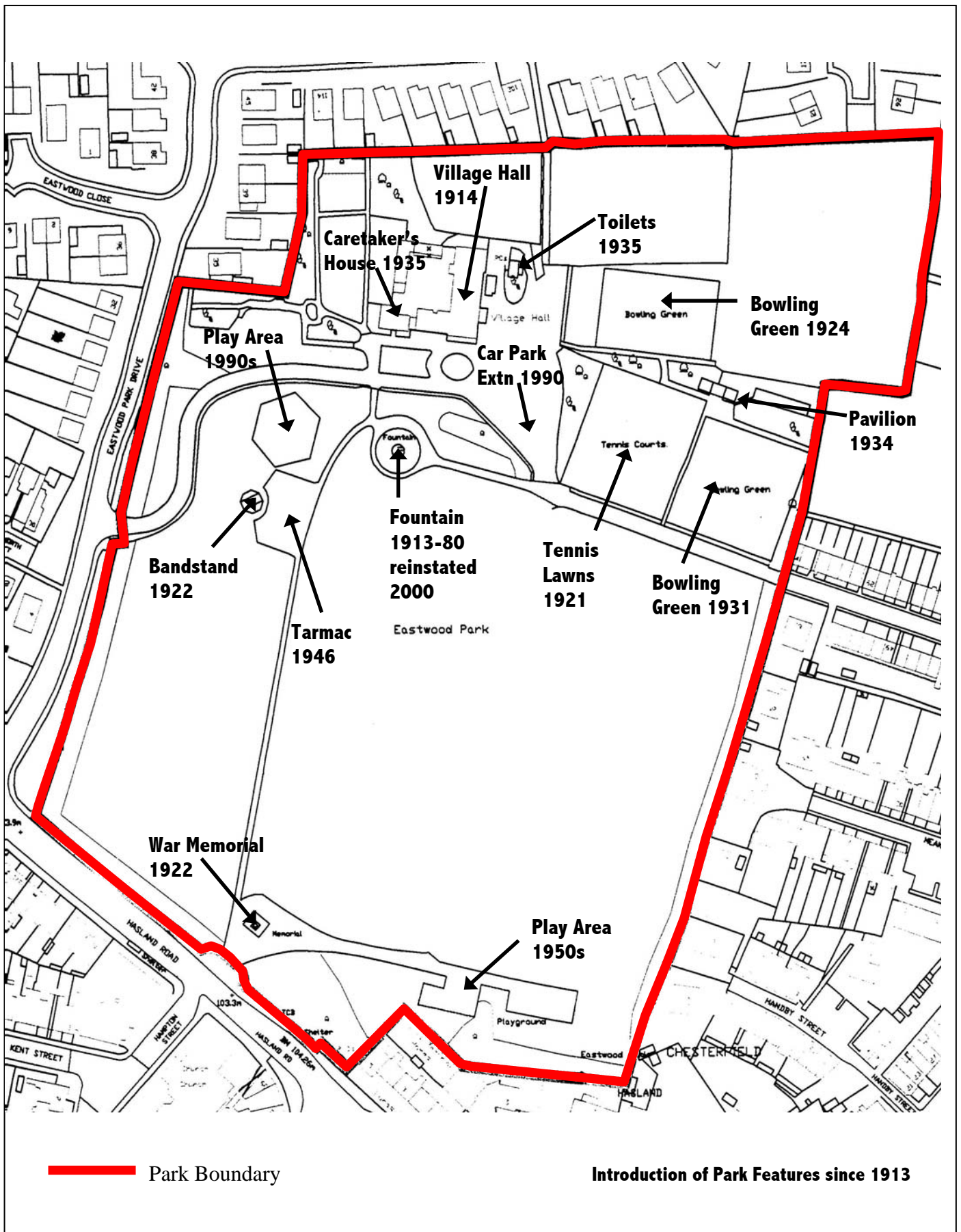
- 2.4.11 There are interesting references to the water garden, within the ‘precinct’ of the water fountain, and the stream running from the fountain across the front of the house and gardens as described in the newspaper reports of the park’s official opening. “...*Around the fountain the turf has been cut out in the form of SCROLLED FLOWER BEDS and the bank of a small, meandering streamlet which crosses the Park has been set out with rockwork and flowering plants...*” This feature still shown on the 1962 OS Map as the line of a drain, was filled in probably in the 1990s, hence the bogginess of the area, and play area constructed over the top (see **Fig 2.4.5**)



Fig 2.4.5 The former stream running from the fountain towards Eastwood Park Drive has now been filled in but would have previously run through the toddlers play area

- 2.4.12 There is also a reference in the Council minutes of 1925 to a wooden footbridge, which park users remember spanning the banks either side of the stream. The Council resolved, “...that the tender of Mr. J. H. Hoole for removing and repairing the footbridge at Eastwood Park for the sum of 4 – 10 – 0d be accepted...”⁵⁵

⁵⁵ CBC Parks and Cemeteries Committee, minute 3679, 14th October 1925 (CLSL)



Historic Structures

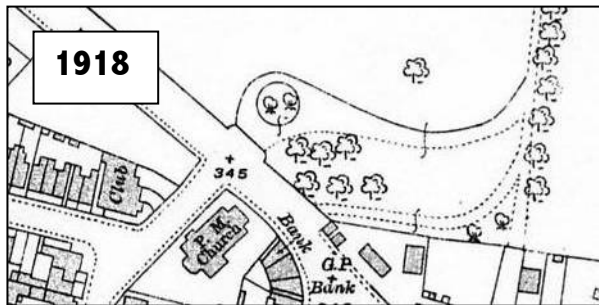
1. Main Gates

- 2.4.13 The main entrance gates, front wall and railings along Hasland Road are one of the few features that have remained intact as shown in the views below. The Chesterfield Courier describes the gates as follows. “...*The main entrance in Hasland Park was flanked the extent of the park by a light stone wall, buttressed and coped, and surmounted with a neat and high pallisading, painted in dark green. The large gates, which are built into substantial stone pillars, are also painted in dark green, relieved with gold and bearing the title, in arched letters of gold EASTWOOD PARK 1913. Iron mouldings of the centerpiece of the Borough Coat of Arms, picked out in natural colours, also figured on each side of the gates...*”



2. War Memorial

2.4.14 The war memorial was erected in a space made within the circular bed inside the main gates in 1922 as shown in the map extracts below. The planting bed, now reduced to roses, was once a more colourful affair as described in the Chesterfield Courier 1913. "...*Inside, a circular flower bed bright with geraniums and marguerites relieved with shrubs and conifers, added a dominant note of colour and instanced the attention that has been given to the park since it was taken over...*"



2.4.15 In 1932 the Council resolved to erect fencing around the war memorial. A new memorial tablet was placed on the war memorial in 1954.⁵⁶ Today the memorial occupies a much reduced space dominated by the surrounding railings as illustrated below.



⁵⁶ *Ibid*, minute 2660, 19th January 1954

3. Water Fountain

- 2.4.16 The Chesterfield Courier describes in detail the original qualities of the water garden created with the installation of the fountain. “...*Following the path the visitor was confronted at some distance before the house with a HUGE ORNAMENTAL FOUNTAIN and fish pond. At the base of the fountain and inside the basin a profusion of flowering plants, water growths and high grasses add to the appearance of the new features. The blooms included pansies, spirea, irises, Canterbury bells etc., whilst ferns and creepers and sword plants served as a foil. A water-lily in bloom floated placidly on the water, and in the cool depths numerous goldfish disported themselves without signs of fear. This massive ornament which throws picturesque whirling sprays in addition to perpendicular side jets, represented another phase of Alderman Markham’s generosity – the fountain which formerly stood in the Ringwood Hall grounds, have been given by Mr. Markham to the park trustees...*”
- 2.4.17 The fountain from Alderman Markham’s residence at Ringwood Hall, may have been one of two referred to in an account of the gardens published in the *Journal of Horticulture and Cottage Gardener* of March 1876, particularly the one described as being in the conservatory. “...*Under the dome is a large fountain of elaborate workmanship and surrounded by foliaged and flowering plants a scene is produced of a pleasing character...*”⁵⁷ Alderman Markham was the grandson of Sir Joseph Paxton who may have been responsible for designing the gardens at Ringwood Hall. The work on installing the fountain at the park cost just under £200, a considerable sum at that time, the breakdown being as follows:
- Cost of laying the water main to the fountain = £14 17s 11d
 - Taking down fountain from Ringwood Hall and re-fixing at Eastwood Park = £144 19s 2d (the work was undertaken by G. F. Kirk)
 - Supply of plants and making a rockery around the fountain basin = £37 17s 0d (the work was undertaken by R. W. Proctor and Sons)
- 2.4.18 It seems that a fully functioning water fountain was not always possible. In 1930 the Borough Surveyor suggested immediate repairs were required costing £10 but submitted, “...*a report upon the condition of the Fountain in Eastwood Park and recommended that, at the moment, it was inadvisable to incur any considerable expenditure...*”⁵⁸ This indicates that perhaps there were major problems inherent in its operation and perhaps why it eventually moved into the town.
- 2.4.19 The fountain was removed from the park in the 1980s and taken to New Square in the town centre, where it was re-christened the “Peace Fountain”. The fountain never really settled in its new location, attracting litter and blowing water onto nearby market stall holders, and was taken back to the park and erected in its original position, although without the water garden that originally surrounded it.⁵⁹ The fountain as it was in 1913 with the same view today is illustrated on the next page (**Fig 2.4.7**).

⁵⁷ We are grateful to Anne-Marie Knowles of Chesterfield Museum for this information

⁵⁸ CBC Parks and Cemeteries Committee, minute 473, 16th December 1930

⁵⁹ *Our Town, Historic Fountain back where it belongs*, March 2000 no., 69, pg 11



Fig 2.4.7 The water fountain donated by Alderman Markham in its original glory above and re-instated in 2000 without the water garden features or water jets

4. Bandstand

- 2.4.20 In May of 1922 the Council resolved that the Chairman of the Parks Committee and the Borough Surveyor, "... *consider and determine the site and erection of a suitable presentation bandstand in Eastwood Park...*" ⁶⁰ In 1926 the Borough Surveyor reported on repairs required to the Band Stand in Eastwood Park and that it had accepted the tender of Mr Beardow for 16 – 10 – 0d for carrying out repairs. ⁶¹ In 1930 the bandstand was fenced; the Council inviting tenders from local contractors. ⁶² The 1938 OS Map shows the fence as circular.
- 2.4.21 The bandstand was a popular feature in the early years as Maureen Pearce describes "... *Local Bands including Hasland Band which changed its name to 'Silver Prize Band' after winning events in 1905 gave concerts in the cast iron bandstand during the summer months. These were well attended and usually held on a Sunday...*"
- 2.4.22 In 1946 the enclosed area in front of the bandstand increased and re-surfaced in tarmac due to its poor condition. By 1958 the superstructure was in a poor condition and tenders were invited to demolish it. The base remained and in 1967 the present cricket 'pavilion' was built on top. The bandstand / cricket shed is shown in its present form below.



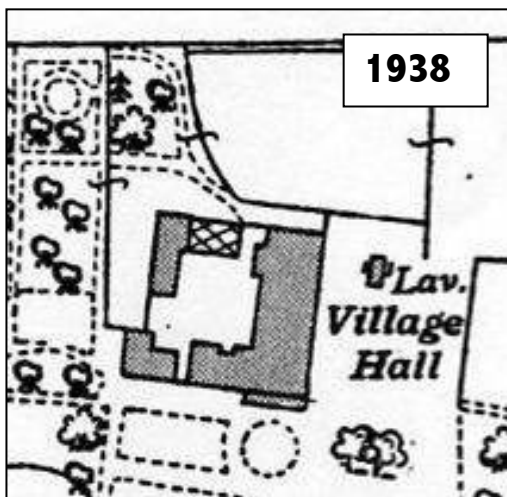
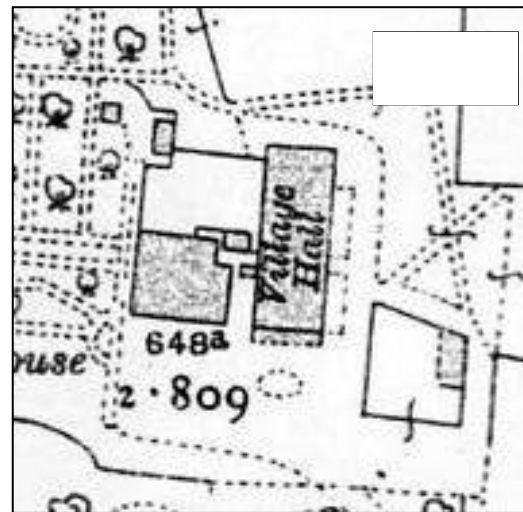
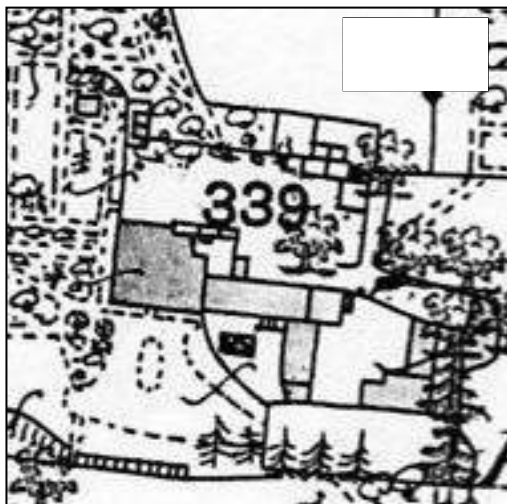
⁶⁰ *Ibid*, 17th May 1922

⁶¹ CBC Parks and Cemeteries Committee, minute 3072, 21st September 1926

⁶² *Ibid*, minute 831, 21st January 1930

5. Hasland House Site

2.4.23 The former house shown on the old photograph below was demolished in 1935 and replaced with a caretaker's lodge, a refreshment room and a store / potting shed at the rear. The map extracts also below show the changing footprint of the house site between 1882 and the present day.



6. Village Hall

“...At the right hand side of the house the stables and outbuildings have been pulled down to make room for THE NEW VILLAGE INSTITUTE which has generously offered by Mr. B. C. Lucas of Clifton, son of a former owner of Hasland House. The institute which is to be added to the main building is to be erected in keeping with the architecture of the house itself and so maintaining the harmony of the appearance...”



2.4.24 The architect of the Village Hall, W. Paul Rowland, provides detailed notes of its design quoted in full below:

(On hall layout)

“...The Village hall...consists of a hall 70ft x 31ft to hold 400 people, with a stage or platform 20ft x 10ft. The chief entrance to be at the south end, with three doorways and covered porch in front. Within the entrances will be a screen so arranged as to have central or side entrances to hall as may be required. Between entrances and this screen is a passage about 6ft wide, at either end of which are cloak rooms, each with w.c. and lavatory. At the north end of the hall, dressing rooms are shown on each side of the platform (with w.c.'s and lavatory), and a passage at the back giving access to stage by a central door. Side doors to stage from dressing room...”

“... An extra or emergency exit is shown on east side...”

(On materials)

“...The materials proposed are brick (of same size, if possible, as those used in Hasland House), with stone copings, dressings and doorways, and columns of porch. The date to be carved in pediment over south window. Flooring to be of wood blocks, and cement for lavatories, etc. The roof a low pitch open timbered roof, boarded, felted, and covered with slates to harmonise with those on existing buildings...”

(On interior)

“...A heating apparatus to be placed below gent's cloakrooms, and radiators placed where shown on plan – to be on low pressure system. Fresh-air inlets will be placed at the back of each radiator, and foul-air exits will be arranged in roof, chiefly through central ventilator shown on perspective view...”

(On location)

“...The hall would be placed for its south or entrance front to be in line with the existing house. It is suggested that the existing stables, cow-house, etc., east of Hasland House should be entirely removed and their materials, the bricks, used, if sound enough, for portions of the walls of the proposed building...”

(On drainage)

“...A drain is shown connecting the w.c.'s with a drain running north, roughly from the N. E. angle of Hasland House, with inspection chambers where required...”

- 2.4.25 In 1930, alterations were made to the hall, although it is not known what this entailed exactly, a tender for 23 – 17 – 6d from Messrs. Beardow being accepted by the Council.⁶³ The village hall roof was re-slatted in 1938 at a cost of £159 and during the war further repairs were made to the hall, and particularly the floor due to damage from mining subsidence.



Side elevation showing ramped access to the rear and the brick built air raid shelter which interrupts the rhythm of the Village Hall facade

⁶³ CBC Parks and Cemeteries Committee, minute 2573, 15th July 1930 (CLSL)

7. Village Hall Outside Toilets

- 2.4.26 The public conveniences adjacent to the Village Hall were built in 1935 by Messrs, Chas. Vallance & Son of Mansfield, at a cost of £330 – 7 – 10d. The toilets are brick built with a hipped, 'rosemary' style slate roof and are now closed being used occasionally by the bowling club. The building retains local architectural character.



8. Bowling Green pavilion

2.4.27 A wooden structure built in 1934 by Mr. F. Beardlow at a cost of £186 – 10 – 0d. It comprises two square rooms at either end with a covered shelter area in the centre.



9. Original Gate Posts

2.4.28 These stone pillars remain from the original back entrance to Hasland House from the adjacent fields as shown on early maps.



10. Tram Car Steps

- 2.4.29 This set of stone steps once gave access to an old tram car body which was brought into the park to provide a covered space for village elders to play cards and dominoes. The tram car was introduced in 1927 but it is not known when it was removed. Clearly the steps were more difficult to dismantle and remain on the edge of the existing car park as a park curio. The stone used for the steps is old suggesting it may have been part of an old mounting block associated with the outbuildings of the former Hasland House and later adapted as access for the tram car.



2.5 Social History

"... The hooligan as a rule would probably not be a hooligan if his vitality were given scope in playing games, instead of loafing about street corners..."

Mr. B. Lucas, Eastwood Park Benefactor, 1913

Park Benefactors – Alderman George Eastwood, Alderman Markham and Mr. B. C. Lucas of Clifton

2.5.1 The development of a public park in Hasland benefited from the largesse of a number of local benefactors including, Alderman Eastwood, Alderman Markham and Bernard C. Lucas who had lived at Hasland House in his younger years.

2.5.2 Alderman Eastwood, pictured at the opening of the park, was the major benefactor having bought Hasland House and grounds and paying for its initial development as a public park. On the same day as the park was officially opened, Alderman Eastwood was made a Freeman of the Borough and received an elaborate casket to contain his freedom certificate, now in the collection of Chesterfield Museum. At a special meeting of the Council on 2nd July 1913 the resolution read, "*... That this Council hereby, in pursuance of the Honorary Freedom of Boroughs Act, 1885, confers upon Alderman George Edward Eastwood, J. P., the Honorary Freedom of the Borough of Chesterfield, in recognition of the eminent public services rendered by him to the Borough, as manifested not only in the performance of his varied duties as a member of the Town Council and of other Public Bodies and in the active personal work and generous support which he has given in the Chesterfield and North Derbyshire Hospital as a member and, for some years, as Vice Chairman of the Board of Management, but especially in his thoughtful and munificent gift to the town of Hasland House and the Park adjoining (to be known in future as Eastwood Park) for the free use of the public for ever...*"



2.5.3 Mr. B. Lucas was another major benefactor responsible for the building of the Village Hall. He also contributed a large sum of money towards the cost of fencing the park (£500) in return for the Corporation providing a public reading room and recreational facilities within the enclosed grounds for legitimate use by the village. His concerns were that unless the, "*... Public Authority do provide such accommodation we shall most assuredly lose the physique of the English race. The hooligan as a rule would probably not be a hooligan if his vitality were given scope in playing games, instead of loafing about street corners...*"⁶⁴

⁶⁴ Mr. B. C. Lucas, park benefactor, in a letter to the Estates and Development Committee, 17th September, 1912

- 2.5.4 Alderman Markham was another park benefactor contributing a water fountain from his residence at nearby Ringwood Hall. There seems to have been a fair amount of rivalry between the various park benefactors at this time to see who could be the most civic minded. Alderman Markham had for example personally funded the clearance of part of the Dog Kennels and the building of the first section of the road, which subsequently bore his name and both Alderman Eastwood and Mr. Bernard Lucas continued to donate equipment and resources to the park.

Opening Ceremonies – the Park and the Village Hall

- 2.5.5 The formal opening of the park on 2nd July 1913 was a great social occasion as the contemporary photographs of the day indicate (see below). Contained within a special album put together for Alderman Eastwood, this photographic record, along with the newspaper reports of the time, provide an invaluable social document charting in detail the first day of the new park's life.⁶⁵
- 2.5.6 The programme for the opening ceremony details a number of activities that took place during the day:
- 2.30pm Special meeting at Town Hall
 - 2.45pm Procession to the Park accompanied by the Hasland Band (photo A)
 - 3.15pm Formal Opening (photo B)
 - 3.00pm Schoolchildren admitted (photo C)
 - 4.15pm Tea for Members of the Town Council
 - Punch and Judy show
 - Hasland Templar Pierrots on a stand on south side of park (photo D)
 - 5.30pm W. L. Wilkins grand conjuring exhibition
 - 6.15pm Hasland Templar Pierrots
 - 7.00pm W. L. Wilkins
 - 7.30pm Bryan Donkin Orchestral Society



⁶⁵ The commemorative album is in the collection of Chesterfield Local Studies Library, ref., L712.5 OS, *Opening of Eastwood Park*

- 2.5.7 The parade to the park from the Town Hall was indeed a grand event as recorded by local historian, Margaret Hartshorn, “... a procession was formed and they proceeded on foot to Hasland. The police took the lead and the fire brigade with the motor-engine and steamer brought up the rear. Walking with Chief Constable Kilpatrick was the Mace Bearer Mr. Paul Bradley, followed by Hasland Band and various public representatives. Large crowds lined the route of the procession and the whole of Hasland was decorated for the occasion...”⁶⁶ She goes on to describe the gates being opened by Alderman Eastwood’s niece, Miss Blanche Eastwood, with a golden key handed over by the Mayor and then, “... A small girl, Dorothy Knight, was chosen to present her with a bouquet and the party, followed by the large crowd of people which had assembled, then moved through the park to a flower-decked platform...”



- 2.5.8 The Village Hall was officially opened a year after the park had opened its gates to the public accompanied by a similar grand occasion as reported by the Derbyshire Times. “... In that charming open space, Eastwood Park, Hasland, which Alderman George A. Eastwood dedicated recently to the free use of the citizens of Chesterfield, there was opened on Wednesday (22nd July 1914) the Village Hall which has been erected in the grounds and presented to the inhabitants by Mr. Bernard C. Lucas of Clifton (Bristol), who formerly resided in the village...” The Derbyshire Times report goes on, “... Proceedings commenced at four

⁶⁶ Quote taken from Margaret Hartshorn’s book, *Hasland Over the Years*, Ashridge Press 2005, pg30

o'clock, when, by the generosity of the Mayor Alderman E. Shentall, about 500 guests enjoyed afternoon on the lawn. Selections were discoursed by the Hasland Band, whilst items were given by the talented Brookside Quartet Party. . ." ⁶⁷ The Hall was opened by Mrs. Bethune, the sister of Mr. Bernard C. Lucas who accepted a gold key engraved with the Borough Arms as a memento.

Cricket, Football and Bowls

2.5.9 From the outset, Eastwood Park with the expressed wishes of its benefactors was the venue for many popular sports and local people have many happy memories of their time spent in the park. "*... There have been many recreational activities held there such as tennis, bowls, putting, cricket and football. For many years there have been swings, slides and roundabouts too. Football is still regularly played in the park but the Hasland Cricket Club ceased to exist quite a few years ago. . .*" ⁶⁸ League cricket has since returned to the park with a neighbouring club now playing regular fixtures in the park.



2.5.10 In fact, the Council's Sports Committee approved the use of Eastwood Park for junior football and league cricket as early as 1921. Indeed there was controversy over the problem of the temporary bandstand being pitched on the cricket area for which the Hasland Working Men's Club was paying £3 a season to let. ⁶⁹ In the Council Committee Minute Book index for 1932 the following recreational activities were recorded for Eastwood Park;

- Application for use of tennis courts
- Crown bowling green
- Band concerts
- Use of cricket pitch
- Use of football pitch
- Charges for putting green
- Tender for sale of ice cream
- Rent of tennis courts
- Use of bowling green

2.5.11 Cricket had been played in the park from the early days but it was not until 1955 with the construction of a decent table for the wickets that Hasland Cricket Club was able to play league cricket. The club survived until the early 1990s and the cricket pitch is now used by neighbouring Spittal Cricket Club. The football pitch was also upgraded in the late 1950s and became the home venue for both Hasland FC and Hady Lane Miner's Welfare FC.

⁶⁷ Derbyshire Times, July 25th 1914, *Village Hall for Hasland, Mr. B. C. Lucas's Handsome Gift*, p12

⁶⁸ Margaret Hartshorn, *op. cit.*, pg 31

⁶⁹ CBC Sports Committee Minutes 566, 2171, 2598, 1921 (CLSL)

Events – Shows and Gala days

2.5.12 The Park has been used for many fetes and galas over the years. For example various permissions were granted for both a small Children’s Fair and a larger Amusement Fair immediately following the Second World War and this continued sporadically along with other one-off events. For example in 1964 permission was granted for a Caravan Rally by the Derbyshire Centre of the Caravan Club.

2.5.13 One of the major event has been the Hasland Annual Gala day held for a number of years until the mid 1990s and resurrected by the Friends of Eastwood Park in 2007 (see photos). The Gala Day, which linked into ‘Love Parks Week’ and focussed on Heritage and Community Involvement, had 5 main components:

- A heritage display showcasing the history of the park and Hasland
- Local community groups, including churches, schools, park and hall users and many others
- Further community and public service groups, eg: the Fire Service, the Big Bus etc
- Limited commercial concessions
- Entertainment – brass bands, line dancers etc

An estimated 3000 members of the public attended and being so successful the Gala Day was repeated in 2008 and 9. The Friends Group aim to hold future Gala Days every two years and one was held in 2011.



2.5.14 There are many memories associated with events in the park. Margaret Hartshorn remembers, “...*Many years ago a ‘Young Farmer’s Rally’ was held there each year. It would be opened by someone famous who was most likely connected to farming, or, as I remember on at least one occasion, by one of the characters from the radio series ‘The Archers’.* There were also animals such as cows and sheep, and tractors and farm machinery were on display...”⁷⁰ In fact, permission was given to the East Derbyshire Agricultural Society to stage their annual show in the park as early as 1921. Following the event they were also asked to

⁷⁰ Margaret Hartshorn, *op. cit.*, pg 31

contribute £7 towards the cost of repairing the ‘green’ (cricket pitch) damaged during the show! ⁷¹

- 2.5.15 Maureen Pearce in her book, *Hasland Times Past*, adds further details particularly of the annual Gala Day. “...*Floats entered by local organizations and visiting Carnival Queens from the surrounding areas would come into the park to be judged. Other attractions would be on site, sports for the children and the usual things connected with a gala. The day was rounded off by a dance in the Village Hall...*” ⁷² Other features included a display of vintage, veteran and classic cars, tractors and motor bikes, a handicraft exhibition and other exhibits for which prizes for the best in class were given. Apparently nearby St Paul’s Church served strawberry teas for some of the years.



The Village Hall – the centre of the community

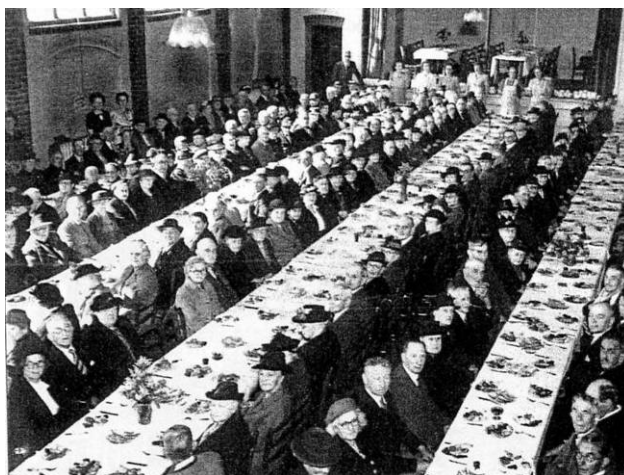
- 2.5.16 From the beginning the Village Hall was declared open to all local inhabitants, “...*without regard to political or religious faith...*” and over the years has been used for a variety of social gatherings such as school concerts, dances and wedding receptions. Other uses as remembered by local people include the annual show of the Chrysanthemum Society, a meeting place for the Old People’s Club and a baby clinic for over 40 years. Maureen Pearce also remembers the Hall being used as a medical centre with an ambulance stored at the side of the building. ⁷³

⁷¹ CBC Sports Committee minute 2677, 3rd August 1921 (CLSL)

⁷² *Hasland Times Past* by Maureen Pearce, published by Chesterfield and District Local History Society, p20

⁷³ *Ibid.*, p21

- 2.5.17 Other examples include the use of the hall in 1932 for the Annual Old Folks Treat (see Photo) “...upon payment of a nominal rent of 10s – 6d...”⁷⁴ and use by the Hasland Horticultural Society for their annual show for a fee of £1.⁷⁵ During the Second World War the Village Hall was used as a training centre by the ‘Air Raid Precaution Committee’ and was also adapted to provide a local first aid post.



Pensioner's dinner in the Village Hall (not dated). Photo by Harry James and published in Margaret Hartshorn's book on Hasland

The Friends of Eastwood Park

- 2.5.18 The Friends of Eastwood Park were established in June 2006 in response to concerns that several members of the community had about the deterioration of Eastwood Park and its facilities. In May 2006 an Open Meeting was held to garner public opinion and measure the depth of commitment of the community to set in motion the establishment of a formal ‘Friends Group’. At this meeting a list of ‘Friends’ was collected and in June 2006 a further meeting was held to elect the Officers of the Friends of Eastwood Park, Hasland. An IGM took place in October 2006 to agree the constitution and this was followed by regular committee meetings and meetings with members of the Leisure Services Department to discuss the role that the Friends Group might have in the regeneration of the park.
- 2.5.19 One of the first major initiatives undertaken by the Friends Group was to stage a Gala Day described above. Apart from staging successful Gala Days, the Friends committee meets regularly and addresses other matters related to the park and its users. Recent correspondence has related to dog fouling; nuisance drivers; youth activity at night and access to the tennis and bowling facilities. The committee continues to give updates to the Hasland and St Leonard's Community Forum. At present the Friends of Eastwood Park have 8 board members and 51 friends.

⁷⁴ CBC Parks and Cemeteries Committee, minute 1821, 24th May 1932 (CLSL)

⁷⁵ Ibid, minute 2616, 20th September 1932

2.6 Ecology

Introduction

- 2.6.1 Eastwood Park is not designated for its nature conservation value and there are no records of protected or priority species having been recorded in the park. There are no existing habitats capable of supporting Great Crested Newts but bats however may be present in the Village Hall and ancillary buildings and a survey will need to be carried out before any development work is undertaken. This should also apply to some of the older trees around the park. All species of bat are protected by the Wildlife and Countryside Act 1981 and the Conservation (natural habitats) regulations 1994.

Survey – General Description

- 2.6.2 The park is a large park almost wholly confined by urban settlement but with a link to an area of allotments in the north eastern corner. The overwhelming majority of the park comprises well maintained playing fields with a lightly treed fringe. Ornamental flower beds, mature shrubs and hedges are found close to the Village hall but there is little in the way of unmanaged or wild areas.

Description by zone

ZONE 1: Village hall, gardens and amenities.

- 2.6.3 This zone comprises an area of closely mown, species poor, amenity grassland which surrounds ornamental shrub or bedding beds and an expansive tarmac car park. Mature, ornamental shrubs lie in a bed on the western perimeter of this zone which is separated from the playing fields by a dense beech hedge. Both these habitats offer breeding cover and nesting opportunities for birds. Mature trees include some large specimens of beech, lime and horse chestnuts which are valuable for birds and also potentially for bats although dense foliage precluded any detailed survey work for roosts. It should be noted however that only two trees, one of which is a dying horse chestnut, are scheduled for removal in this zone.

ZONE 2: Enclosed recreation facilities

- 2.6.4 This zone is characterized by a series of enclosed recreation facilities with limited ecological value. Both bowling greens are intensively managed swards and the tennis court is a tarmac space with an unmade up disused court adjacent. A thin wedge of ornamental shrubs separates the tennis court from the bowling green. However, the dense trimmed beech, holly and hawthorn hedges that also enclose the bowling greens provide nesting opportunities for breeding birds. Mature and semi mature trees mainly consist of lime and several ornamental varieties of Acer. A maintenance depot with hard standing, stored machinery, container, skips and the like completes this zone which is surrounded by a mature Leylandii hedge.

ZONE 3: Open park and open recreation facilities.

- 2.6.5 The zone that occupies the largest part of the park is dedicated to sports such as cricket and football. As a consequence the sward consists of improved closely mown species poor grassland. Mature trees enclose this zone and consist of wych elm, lime, oak, horse chestnut, beech cherry and sycamore.

Conclusions

- 2.6.6 Eastwood Park is not a national, regional or borough wide site of nature conservation value. As a park it is of limited ecological value apart from its range of mature trees and hedges which support a range of invertebrates and birds. There are no wild areas of wildflower rich grassland or shrubs of native origin and structural diversity is poor with a mature tree layer but a minimal shrub layer.

Recommendations

- 2.6.7 The park has considerable potential for improvement to its biodiversity. Ideally some areas of grassland, perhaps in dedicated areas around the perimeter should be left unmanaged and cut once or twice a year. This will improve conditions for invertebrates, provide cover for small mammals and provide food source for birds. In addition specific wildflower rich grassland and native shrub areas could provide valuable new habitats which would also help to enrich the biodiversity of the site in contrast with the restoration of ornamental planting . Before any trees are felled or buildings improved, then a bat survey should be undertaken by an appropriately qualified bat consultant.

3. Assessment of Significance

“...In days to come the park, which we heard described by a local resident as A VERITABLE GARDEN OF EDEN will be even more appreciated than it is at the present time, for houses are already being built in close proximity to it and soon it will be a ‘breathing place’ in the centre of a very thickly populated portion of the borough...”

Derbyshire Times Eastwood Park Open, July 1913

Introduction

- 3.1 Eastwood Park, the former Hasland House, is an integral part of the history of Hasland forming an important open space within a dense housing area developed during the 20th century. The park has a rich social history, being in constant use for nearly 100 years for sports, community events and informal enjoyment. In addition the character and several important heritage features remain despite recent neglect.

Statement of Significance

The Park Landscape

- 3.2 Eastwood Park retains the imprint of early history and in particular aspects of the former Hasland House and Grounds prior to it being established as a public park. Few original parkland trees remain and the ornamental quality of the garden areas associated with Hasland House has been reduced in recent years but the layout features are intact and opportunities remain to bring back the original character in the future.
- 3.3 Significant features surviving from when the park was officially opened include the entrance gates, the fountain, Village Hall (see below) and the layout of the formal gardens around the house site.
- 3.4 Eastwood Park is a typical example of a public park laid out on a tight budget by the Borough Surveyor (Mr. Vincent Smith). It reflects the far-sightedness of several private benefactors discussed below but also reflects the efforts of the local authority of the time and the prevailing design aesthetic of that period. It is not part of a design portfolio of national significance but it is locally significant and its survival and relationship with the development of Hasland make it an important heritage feature.

Role of Local Philanthropy

- 3.5 The former Hasland House and Grounds were sold at auction in 1912 to Alderman George Eastwood for £3,500 who decided to grant the house and land to the Corporation of Chesterfield for the purposes of a public park. Not only did he give the land but also paid for its initial improvements – fencing, road improvements etc – and for this very generous donation he was made a Freeman of the Borough. Such a magnanimous civic gesture attracted other benefactors to make a contribution including Alderman Markham who donated and paid for the installation of the water fountain and Bernard C. Lucas who built the Village Hall. Such philanthropic action is not untypical for this era but the scale and pulling together

of several (possibly competing) local figures makes this aspect of the park's history very significant.

Social History

- 3.6 Eastwood Park has a rich social history being a popular location for sports and local events for nearly 100 years. The local histories of the bowling club, football club and the cricket club are interwoven with the history of the park itself along with the many open air events that have taken place over the years, including the Gala Days which have been revived by the recently formed Friends Group. The Village Hall in particular has been an important covered venue for a number of activities since its opening in 1914. The story of the park is therefore locally significant being an integral part of Hasland's social history.



Village Hall

- 3.7 The Village Hall is an interesting example of early 20th century design, by Roland W. Paul of Clifton, Bristol. Commissioned and paid for by Bernard C. Lucas, whose family lived at Hasland Hall, it remains a landmark feature of the Park with the front entrance portico, external brick piers and large arched window openings giving the building considerable character. Internally, the size and shape of the main hall suits a wide range of uses. Dance and fitness activities benefit from the parquet floor and the small stage suits lectures, discos and small group activities. The Village Hall is locally significant remaining a popular venue for community activities nearly 100 years after opening.

Local Community and Recreation

- 3.8 From the beginning, Eastwood Park, like many early 20th century public parks, was soon an important venue for children's play equipment and for formal sports activities, particularly bowls and tennis. The park continues to provide a relevant venue for such activities today, along with football and cricket, and is an important resource for the local community. The recently formed 'Friends Group' is a significant step in encouraging continuing local involvement as the highly successful Gala Days have proved.

4. Consultation

- 4.1 The preparation of the Conservation Management Plan and Action Plan for Eastwood Park has been fully integrated with the Activity Plan process. This drove a comprehensive programme of stakeholder consultation. Consultation began with initial meetings with the local community, Council Staff, and board members of the Friends Group to gauge feelings for the park and to elicit thoughts on key issues and opportunities and then widened in scope to embrace local schools, interest groups and sports clubs . The consultation process culminated in a presentation of historical information, ideas and outline proposal options at a public exhibition in the Village Hall in September 2011. At this event, proposal plans were exhibited together with background historical information and illustrations of particular proposals. A representative of the play company Proludic was also present to seek reaction and responses to the new proposed play provision in the park. Panels were put up which specifically asked for reaction to the ideas contained on the draft Masterplan and in the Activity Plan. Views and responses were obtained via response forms filled in during the exhibition and are analyzed in full in the Consultation Report prepared by CFP.
- 4.2 A full account of the consultation process, with detailed analysis of the questionnaires and responses, is incorporated in the Consultation Report.



The public exhibition held at Eastwood Village Hall. (Photo by Mike Anderson CFP)

5. Conservation Issues

5.1 Introduction

5.1.1 This section sets out all of the issues affecting the fabric of Eastwood Park and its present day management and these are discussed under the following themed headings:

- Physical condition – landscape
- Physical condition – built structures
- Ownership – areas and boundaries
- Access and recreation
- External factors
- Public and community expectations

5.2 Physical Condition – Landscape

5.2.1 The physical setting of the former house site and Village Hall and its previously open relationship with the parkland is now compromised by piecemeal developments that have accrued over the years. In particular, the expansive area of tarmac that has developed around Village Hall is unsympathetic and the new 'access road' together with the beech hedge and railings introduced in the 1990s compromises the historic view of the house and hall. Negative visual impact is also produced by the neighbouring sub-regional maintenance yard to the rear of the Village Hall, particularly the impact of the overgrown Leyland cypress hedge.



5.2.2 There has been a loss of historic fabric including the main drive through the parkland (which made way for the upgrading of the cricket pitch and football pitch in the late 1950s). There has also been a corresponding loss of mature avenue and parkland trees due to conflict with the cricket and football pitches, as reported by the Council Committee minutes over a number of years. The resulting openness of the park can be particularly bleak in the winter. Some of

the remaining mature trees, particularly the horse chestnuts are showing signs of die-back and are in poor condition.



5.2.3 A number of tarmac paths are in poor condition particularly:

- The main path from the entrance gates to the Village Hall which cuts through the middle of the park and is very uneven – it is also too narrow for a main thoroughfare leading to eroded edges
- The tarmac ‘forecourt’ to the bandstand base / makeshift cricket ‘pavilion’
- The path network in the formal garden area and around the bowling green.



5.2.4 The Park boundary railings are also in poor condition and lack uniformity due to a number of different sorts being introduced over the years. In particular, the western boundary railings which were introduced on a temporary basis are in very poor state and the main railings along Hasland road need restoring and repainting.



- 5.2.5 The grass sward is generally in good condition but poor drainage is a particular problem especially around the fountain and toddler's play area. The area is known for its springs which appear to cause the problem and previous drainage channels have been filled in over the years.
- 5.2.6 There is a lack of biodiversity – the remaining mature trees are important, but otherwise the large areas of managed grassland are largely sterile from an ecological perspective.

5.3 Physical Condition – Built Structures

- 5.3.1 The Village Hall has been subject to a number of repairs over its lifetime and has been affected by past mining subsidence. The fabric is generally in reasonable condition but the western wall has been undermined by below ground drainage leading to some settlement, damp and brickwork fractures. There is also an obligation to identify and remove materials containing asbestos.
- 5.3.2 The internal plan arrangement of the hall is also a key issue and currently compromises the use of the building. For example, the toilet facilities open off one end of the hall whilst the kitchen, entrance and small meeting room are at the opposite end. The only route between them is through the hall itself. The area available for storage is limited and predictably, stored items occupy a significant part of the circulation space.
- 5.3.3 In general, the facilities are inadequate. The kitchen is not up to current catering standards. This is a big disadvantage particularly for events requiring sit down meals such as wedding receptions. Furthermore the serving area between kitchen and hall is insufficient and restricts bar facilities for events and lastly the toilet provision is inadequate by modern day standards.

- 5.3.4 The main body of the Village Hall is linked to the Caretaker's Lodge by a single storey utility block built as a 'refreshment room' in 1935. This uninspiring link building is also marred by a number of structures monitoring air quality which have been placed on the flat roof and can clearly be seen from the park. Immediately outside of the Village Hall on the eastern side is a redundant and unsightly air raid shelter, whose close proximity compromises its setting. It also acts as a unsociable hiding place at night.



- 5.3.5 The outside toilet forming a detached block is largely screened by large shrubs and has been locked off for a number of years due to vandalism. The building itself has local character and is structurally sound.
- 5.3.6 The bowling pavilion requires constant maintenance and is used as an unofficial youth shelter out of hours and is prone to misuse. On one occasion an attempt was made to set it on fire.
- 5.3.7 Finally, the water fountain, reintroduced in 2000 is in reasonable condition but can often block up and dogs in the water can be a particular problem.

5.4 Ownership – areas and boundaries

- 5.4.1 The ownership of the park is straightforward being gifted to the Council in 1912 by Alderman Eastwood. However the small 1.4 acre extension made in 1971 in the north-east corner of the park is little used due to poor access and the impact of the sub-regional maintenance depot.

5.5 Access and Recreation

5.5.1 There is a conflict between vehicular traffic and pedestrian movement between the park and the hall. This disruption is caused by constant traffic travelling along the access road in front of Village Hall both to the car park and the sub-regional maintenance depot. In effect this splits the park in two and is a constant danger, particularly to children walking, often running to and from the Village Hall.



5.5.2 The park provides both a marked out cricket and football pitch but the facilities to support these activities, such as changing rooms, are non-existent. In addition the formal play areas are isolated and poorly sited, and the play equipment tired and old fashioned. Facilities are non-existent for teenagers.

5.5.3 The footpath network is now inadequate leading to short cuts and desire lines – the park, and in particular its surroundings, have changed markedly since its inception.

5.6 External Factors

5.6.1 Both mining subsidence and underground springs have affected the park in the past, although the current situation is unknown. The park is not within any official mining subsidence inclusion zone.

5.7 Public and Community Expectations

5.7.1 As previously mentioned there are no dedicated facilities, such as a recreational area or shelter for older children. Existing facilities are therefore abused or vandalized for want of provision

5.7.2 Park users lamented the lack of seating, litter and dog bins in general and also bemoaned the lack of public toilets and café within the park itself. The local community appreciates the open space and facilities the park provides but residents who live next to the park are concerned over perceived nuisances in the future.



5.7.3 There is a need for an interpretation strategy for the park. At present the park suffers from poor signage and there is no information on its heritage or current events and activities. (see sign audit in Activity Plan)

5.8 Park Management

- 5.8.1 There are a number of issues concerning the day to day management of the park.
- Dogs off leads, not surprisingly, are seen as a serious problem occasionally leading to conflict and profane language.
 - There is a maintenance implication for keeping the park secure at night, locking gates etc., and out of hour's access through bent railings often occurs.
 - The caretaker's house is occupied but the occupant is not employed to be involved in the management of the park.
 - Despite attempts by local police and park staff, misuse by local youths – nuisance driving, drugs etc., - remains an occasional issue, particularly in the south eastern corner of the park
 - During busy periods there is a lack of car parking facilities for staff maintaining the park.
- 5.8.2 Finally, there is a potential conflict between park users and the operation of the Council's sub-regional maintenance depot which necessitates constant access with attendant large machinery.



6. Conservation Aims and Objectives

6.1 Conservation Management Aims

6.1.1 Eastwood Park is an important open space in a dense urban area close to the centre of Chesterfield. It has a significant local history with many heritage features still intact but under threat. The previous section outlined a number of these vulnerabilities which need to be addressed if the park is to continue as a valuable local asset. The management aims and objectives for the park therefore seek to:

- Improve access and circulation in the park and the setting of the Village Hall and house site.
- Restore remaining heritage features where they are able to make a positive contribution to the park's quality and future.
- Improve existing recreation and provide new facilities for new audiences whilst retaining and enhancing the historic character of the park.
- Enhance the nature conservation value of the park and improve biodiversity where opportunities allow.
- Improve the interpretive potential of the park and its surrounding area and to facilitate increased educational use of the park.

To achieve these aims a series of policies have been written which clearly set out in more detail the aims and objectives behind the park's restoration and the rationale behind them:

6.2 Policies – The Park Landscape

6.2.1 To restore the setting of the Village Hall and house site and re-connect with the surrounding open park.

Currently a number of recent developments have led to visual and physical barriers separating the Village Hall, and an over emphasis on tarmac surfacing. The main focus of the park, the Village Hall is visually separate from its surrounding landscape. This affects not only the character of the park but also the safe and efficient use of the core area.

6.2.2 To restore park tree cover where appropriate.

There has also been a gradual removal of mature park trees over the years and a number of remaining trees in the core area are in a poor condition.

6.2.3 To improve the quality of the existing footpaths and upgrade the footpath network to improve circulation.

Footpath surfaces have degraded with time and the present network is inadequate to cope with existing use.

6.2.4 To restore the character of the park entrances and boundaries.

The present main entrance gates and wall fronting Hasland Road, one of the main heritage features of the park, are structurally sound but require cleaning and painting. Elsewhere, boundary railings are in poor condition and often inadequate and need upgrading.

6.3 Policies – Built Structures

6.3.1 To restore and upgrade the Village Hall and improve its park function through careful internal modernization.

At present the hall is limited in what it can provide for park users and a rationalization of its internal layout and the sympathetic treatment of its architectural features would bring the hall back into the prominent position its history merits.

6.3.2 To restore significant historic structures within the park

The fountain and war memorial are both significant elements in the context of Eastwood Park's heritage and both are in need of careful restoration.

6.3.3 To rationalise existing built structures in poor condition or surplus to modern day requirements and provide a new park recreational focus.

A number of structures introduced into the park to provide facilities for the various formal recreational activities have now become redundant and an opportunity exists to create a new, properly sited support facility.

6.4 Policies – Nature Conservation

6.4.1 To enhance the nature conservation value of the park where possible, through new planting and specific management regimes in appropriate areas.

Eastwood Park is relatively poor in terms of biodiversity and a number of actions can be carried out to improve the ecological health of the park without compromising the needs of heritage conservation or the requirements of park users.

6.5 Policies – Access and Recreation

6.5.1 To resolve conflict between park users and vehicular access to various parts of the park.

Currently, vehicular traffic enters the park off Eastwood Park Drive and passes in front of the Village Hall leading to a main car park at its far side. The access road is also used by maintenance vehicles and together they form a constant stream of traffic running across the park.

6.5.2 To upgrade present recreational provision and to introduce new recreational facilities to provide for neglected sections of the community.

Children's play facilities are currently badly sited and the equipment uninspiring. In addition, the tennis courts are restricted to one court and teenagers in general are poorly catered for.

6.5.3 To improve accessibility to the park within the constraints of conservation, safety and operational requirements.

This will require improvements to entrances, paths and existing spaces to improve overall access and improved circulation within the park and to facilitate the development of events and other activities in the park.

6.6 Policies – Audience Development

6.6.1 To broaden the range of park users through improved facilities and within the constraints of maintaining the character of a historic park.

Facilities should be improved for existing users such as the bowlers, cricket, tennis and football players as well as for the younger and more elderly park user in addition to attracting new audiences from the local area.

6.6.2 To improve signage, provide interpretive material for the park and to enhance its educational use.

There is potential to increase the appreciation of the park's significant heritage as well as that of Hasland 'village' and to forge links with local schools and community groups. More can also be done to promote the park more effectively in the area.

6.6.3 To increase the range and scope of local events through improvements to the park's infrastructure.

The recent introduction of an annual Gala Day has proved how successful and popular well organised local events can be.

6.7 Policies – Community Involvement

6.7.1 To support the newly formed Friends Group to help maintain the park in the future and develop new facilities such as the Community Garden.

The Friends of Eastwood Park have already been successful in raising the profile of the park and highlighting local issues. The Group has been instrumental in the success of the Gala Days and will continue to provide a valuable role in the future management of the park. Their presence in the park should be encouraged through access to support services and other appropriate resources. The development of a Community Garden has been strongly supported during consultation.

6.8 Policies – Management and Maintenance

6.8.1 To enhance the management and maintenance of the park and ensure that the investment involved in the park's restoration is secured for the future.

An efficient management system and an increased standard of maintenance will be required to sustain the improvements and greater use foreseen for the park.

7 Action Plan and Costs

Introduction

7.1 Initial proposals for the restoration and rejuvenation of the park commenced in 2008 and were the subject of an HLF bid in 2010. The Masterplan that was submitted as part of that bid is illustrated in Fig 7.1 and was accepted apart from a few key caveats :

- a) The new car park close to Eastwood Park drive should be excluded as the Parks for People Scheme now no longer funds car parking.
- b) The new pavilion is to be excluded from the Stage 2 HLF bid as it is not eligible for funding
- c) The siting of the MUGA conflicts with the park's heritage setting and should be re-sited.
- d) The improvements to the Village Hall should be scaled down and the proposed cafe removed from the scheme.

7.2 Consultation on a revised scheme was an iterative process involving the local community, Friends of Eastwood Park, local schools, sports groups and officers of Chesterfield Borough Council. Details of the consultation process have been described in detail in the Consultation Report.

7.3 In the revised scheme which formed the subject of the Public Exhibition in September 2011 and which was endorsed by the majority of attendees, the Friends of Eastwood Park and ultimately Chesterfield Borough Council, is illustrated in Fig 7.2. The fundamental principles of the original scheme remain intact with a few key adjustments:

- a) car parking around the Village Hall has been retained with the same numbers, albeit with a minor extension onto the redundant flat bowling green, and landscaped
- b) a combined play area has been re-sited on the site of the current infant play area
- c) the MUGA has been re-sited on the site of the old tennis courts
- d) a community garden has been proposed behind the village hall which has received strong support
- e) proposals for the Village Hall have been scaled down and limited to structural improvements, improved toilet provision, and a new kitchen facility.
- f) a new arboretum has been proposed to take into account the desire for dedicated memorial trees.
- g) the pavilion is retained in principle but is excluded from this funding bid . It will form part of a subsequent funding bid.

In summary the objectives of the Action Plan are:

Zone 1: Village Hall and Setting

7.9 Proposals for this zone aim to

- refurbish the Village Hall and improve specific facilities such as toilet provision and catering facilities.
- Radically improving the setting of the hall by removing much of the tarmac , resurfacing and extending the existing car park and providing more sitting out space

and creating a better landscaped setting for the hall with bedding, lawns and shrub planting

- Provide a new wildlife garden and picnic area.
- Create a new community garden to the rear of the Hall
- Install more speed ramps to reduce the speed of traffic accessing the Council Depot facility
- Construct a new MUGA and tennis court on the site of the existing one.

Zone 2: Open Park Recreation

7.11 The park is well used for a variety of sports and informal recreation. However, poor drainage and lack of all weather facilities places limitations on its use. The path network is in poor condition and is in need of upgrading. The key proposals are as follows:

- Improve drainage to the existing football pitch and new junior football combined with general drainage improvements to resolve flooding issues.
- Creation of a new mini football pitch
- Restoring the fountain including the outer pool.
- Improvement of the setting of the war memorial
- Restoration of the main gates and Hasland road railings and eastern perimeter railings
- Replacement of the Eastwood Park drive railings
- Establishment of a new section of architectural metalwork fence together with centenary arch to celebrate the centenary of the park's opening in 1914.
- Fabrication of a suite of park benches based on original park design
- Installation of new litter and dog waste bins
- Renewal of all paths within this zone of the park allowing for widening and resurfacing.
- Establishment of a new combined infant and junior play area designed by Proludic.
- Tree planting around the perimeter of the park

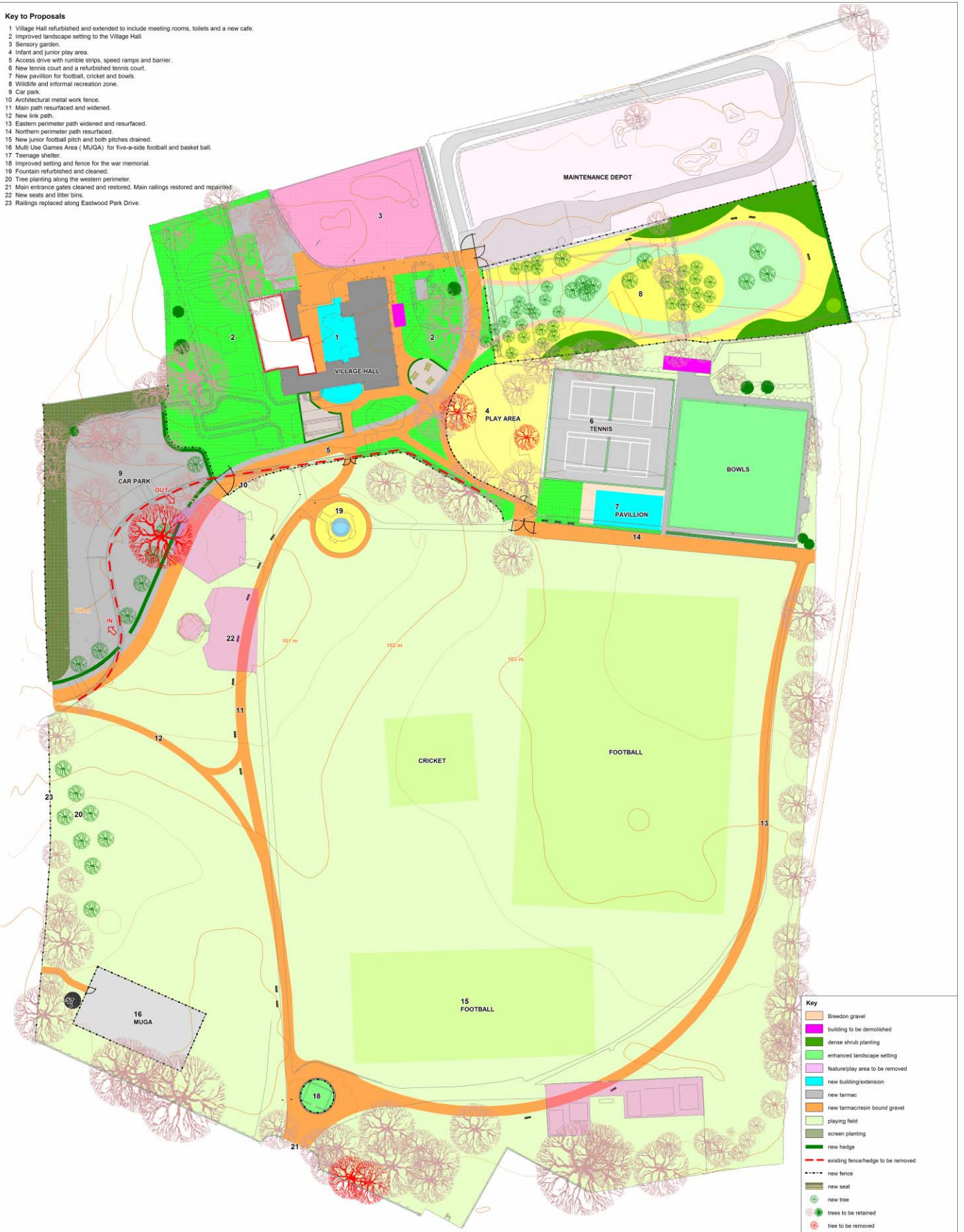
Preparatory, demolition and clearance proposals park wide

7.12 Necessarily certain existing elements of the park need to be cleared or demolished before improvements can be put in place these include:

- Removal of tarmac hardstanding around the hall
- Removal of tarmac hardstanding in the vicinity of the current bandstand
- Demolition of the current bandstand and scoreboard
- Demolition of the bowls pavilion
- Demolition of the WW2 air raid shelter
- Felling of a select number of mature trees some of which are in a dangerous or dying condition
- Removal and replacement of railings and beech hedge separating park from hall.

Key to Proposals

- 1 Village Hall refurbished and extended to include meeting rooms, toilets and a new cafe.
- 2 Improved landscape setting to the Village Hall.
- 3 Sensory garden.
- 4 Infant and junior play area.
- 5 Access drive with rumble strips, speed ramps and barrier.
- 6 New tennis court and a refurbished tennis court.
- 7 New pavilion for football, cricket and bowls.
- 8 Wildlife and informal recreation zone.
- 9 Car park.
- 10 Architectural metal work fence.
- 11 Main path resurfaced and widened.
- 12 New link path.
- 13 Eastern perimeter path widened and resurfaced.
- 14 Northern perimeter path resurfaced.
- 15 New junior football pitch and both pitches drained.
- 16 Multi Use Games Area (MUGA) for five-a-side football and basket ball.
- 17 Teenage shelter.
- 18 Improved setting and fence for the war memorial.
- 19 Fountain refurbished and cleaned.
- 20 Tree planting along the western perimeter.
- 21 Main entrance gates cleaned and restored. Main railings restored and repainted.
- 22 New seats and litter bins.
- 23 Railings replaced along Eastwood Park Drive.



- Key**
- Breedon gravel
 - building to be demolished
 - dense shrub planting
 - enhanced landscape setting
 - feature/play area to be removed
 - new building/extension
 - new tarmac
 - new tarmac/resin bound gravel
 - playing field
 - screen planting
 - new hedge
 - existing fence/hedge to be removed
 - new fence
 - new seat
 - new tree
 - trees to be retained
 - tree to be removed

Eastwood Park: Masterplan

SUPERSEDED

Date	Details	Revision
15/08/08	Various amendments including replacement of dog walking park by wildlife zone.	1
21/08/08	Addition of contours.	2
23/09/08	Minor amendments plus addition of a key. Replaces EPC08.03-3 dated 24/08/08.	3

© Chris Burnett Associates 2008. This plan should not be reproduced in whole or in part without prior written permission.



Landscape Architects

White House Farm
 Stockley's Poles
 Cleveley, York YO24 1RQ
 Tel: 01430 250646
 Fax: 01430 250627
 Mob: 07809 029810
 chris@chrisburnett.co.uk
 www.chrisburnett.co.uk

Client: **Chesterfield Borough Council**

Project: **Eastwood Park**

Scale: **1:500 @ A1**

Date: 23/09/08 Drawn: JHD Checked: CB

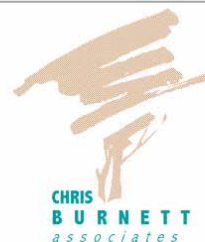
Draw No: EPC08.03 Revision: 3





Date	Details	Revision
11/07/11	Various amendments including repositioning of the MGA & landscaping around the Village Hall.	-4
15/07/11	Reorientation of tennis court and MGA.	-5
12/09/11	Various amendments.	-6
23/09/11	Various amendments.	-7
24/10/11	Various amendments.	-8
12/12/11	Final amendments to correlate with contract drawings as issued on 12/12/11.	-9
26/01/12	Minor adjustments to the layout of the MGA & tennis court.	-10

Eastwood Park: Masterplan



Landscape Architects

White House Farm
 Stocklitch, Malpas
 Chester CH14 7JH
 Tel: 01829 250446
 Fax: 01829 250527
 Mob: 07809 025810
 chris@cb-a.net
 www.chris-burnett-associates.co.uk

Client: **Chesterfield Borough Council**

Project: **Eastwood Park**

Scale: **1:500 @ A1**

Date: 26/01/12

Drawn: JHD

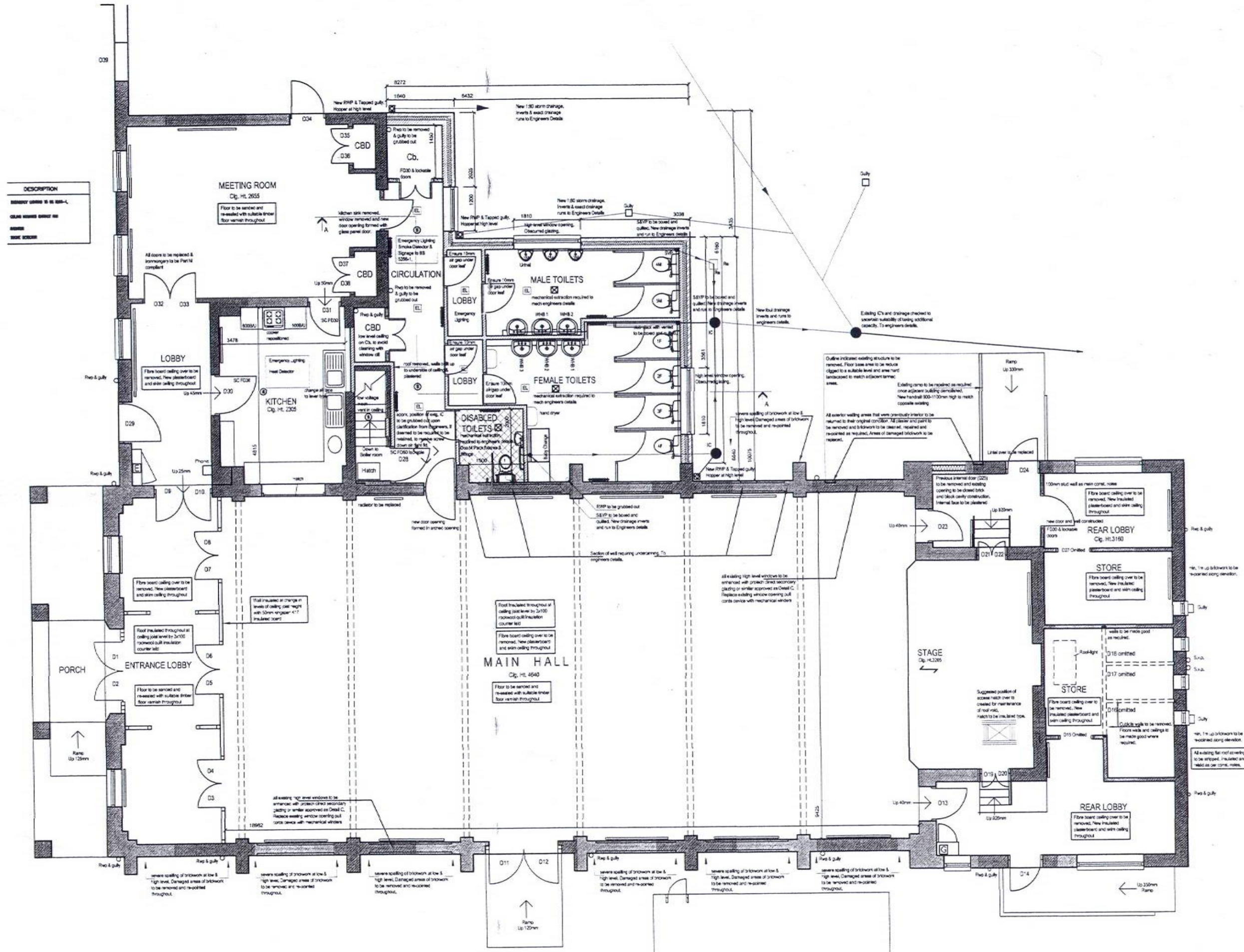
Checked: CB

Dwg No: **EPCP08.03**

Revision: **-10**



© Chris Burnett Associates 2012. This plan should not be reproduced in whole or in part without prior written permission.



DESCRIPTION
REMOVING WALLS TO BE REINFORCED
GLASS WALLS TO BE REINFORCED
REMOVING WALLS
REINFORCING WALLS

Directorate of Regeneration,
Design Services,
Architectural Consultancy,
Town Hall,
Chesterfield,
Derbyshire,
S40 1LP.
Tel. 01246 345345
Fax. 01246 345424

CONTRACT
EASTWOOD PARK RE
B.Regs construction del
DRAWING TITLE
HASLAND VILLAGE HJ

DRAWN NH SCALE 1:50 at A1
CHECKED DRAWING NO.
DATE 2012/02

Village Hall

Architect's Report, (August, 2008)

Introduction

- 7.12 The village hall remains a popular venue for community activities nearly one hundred years after opening. The original structure has received a number of minor extensions and improvements over the years but suffers from a number of inherent defects. Following detailed surveys and consultations, a sketch plan is attached showing how the present accommodation could be upgraded and extended to meet current needs and aspirations.

Heritage elements to be kept and enhanced

- 7.13 The hall itself is a landmark feature of the Park. The front entrance portico, external brick piers and large arched window openings give the building considerable character. These elements would all be retained. An ugly disused air raid shelter close to one side would be cleared away.
- 7.14 Internally, the size and shape of the main hall suits a wide range of uses. Dance and fitness activities benefit from the parquet floor. The small stage suits lectures, discos and small groups and although it cannot accommodate theatrical productions it would be difficult to justify its removal or convert it into something more useful.
- 7.15 The possibility of introducing a means of subdividing the main space to suit smaller group activities has been considered, but it would be important to avoid detracting from the character of the hall. As the ceiling height, lighting and acoustics present difficulties it has been concluded that an additional meeting room for smaller groups would be the better option.
- 7.16 The large, feature window over the main entrance lights only a storage loft in the present arrangement. Site investigation of the roof trusses over the main hall (all in planed timber) suggests that the existing ceiling may have been a later addition and the hall may have originally have featured both window and trusses.

Problems identified to date

- 7.17 Plan arrangement is the key issue which currently compromises use of the building and loses bookings. The toilet facilities open off one end of the hall. The kitchen, entrance and small meeting room are at the opposite end. The only route between them is through the hall itself.
- 7.18 Furthermore, there is only one direct serving or hatch between kitchen and hall. This is inadequate for a bar although a temporary license and bar facilities are often required for events.
- 7.19 The kitchen is not up to current catering standards. This is a big disadvantage for wedding receptions and other events needing sit down meals.

- 7.20 As will be seen from the schedule of existing accommodation, there are only 7m² of lock up storage in the whole building. This contrasts with 63m² of lobby space. Predictably, stored items occupy a significant part of the circulation space.
- 7.21 The only alternative to booking the 178m² main hall is a rather shabby meeting room of 32m². There is a demand for more choice and simultaneous use if the circulation and toilet problems can be solved.
- 7.22 There is no unisex wheelchair accessible toilet provision.
- 7.23 On busy days there is a demand for refreshments from park visitors and hall users that is not being met.
- 7.24 Certain structural repairs are necessary. In particular, settlement of the main hall west wall needs more detailed investigation and remedial work.
- 7.25 The below ground drainage does not work well and may be contributing to damp and brickwork fractures. Cost estimates include for a CCTV survey and trial holes to more accurately locate the damaged sections.
- 7.26 There is also an obligation to identify and remove materials containing asbestos.
(see also separate condition survey)

Proposals

- 7.27 The following improvements are proposed (**see Fig 7.1**)
- New toilet facility installed closer to kitchen and main entrance. Old toilets dismantled
 - All wood floors sanded and sealed throughout
 - All fibre board ceiling replaced with plasterboard and skimmed finish throughout.
 - Roof of main hall insulated and windows secondary glazed
 - Kitchen and fittings overhauled and improved
 - Doors replaced to meeting room
 - Subsidence addressed through underpinning
 - All severely spalled external brickwork replaced.

ACTION PLAN SCHEDULE

Masterplan Code	Description	Rationale and justification
1	Memorial arboretum	Plant a memorial arboretum with exotic ornamental trees to fulfil demand for memorial trees and replace the mature beech elm and lime that form an integral part of the backdrop to the Hall
2	Refurbish Village Hall	The current hall is in a tired condition with limited facilities and old toilets, no meeting rooms and limited catering facilities. The provision of new meeting rooms will allow the groups that meet regularly in the hall to be better catered for. Improved toilets, including dedicated disabled toilet provision will meet modern standards. A new catering area will also help to meet demand for wedding receptions and other functions that have only a limited appeal at present. A small outside sitting area close to the village hall will enable users to take refreshments outside on busy match days.
3	Community garden	The area formerly known as the putting green will be transformed into a productive community garden. This idea received strong support during the consultation process and this facility will be run by the local community with management coordinated by the Friends of Eastwood park group.
4,5,8,26, 27,28,29 and 30	Improve the setting of the Village Hall	At present, the hall is surrounded by tarmac and interrupted from the park by a road which provides access to the car park and maintenance depot. Contemporary records of the park and hall in its heyday refer to gardens : <i>'Immediately in front of the house the view has been coloured by the introduction of a circular rose-garden, centred with a large fuschia tree, and the gardens on either side made bright with the blooms of the season.</i> The new rose garden . raised bedding and orchard re –introduce these elements and provide for a restored landscape setting to the hall. The existing tarmac surface will be replaced and resurfaced

		in resin bonded or tar spray chippings to lift the visual appearance of the area.
6	New wildlife zone	A zone where a more informal management regime could apply to the benefit of wildlife and help to improve biodiversity. Native trees and shrubs with areas of wildflower rich grassland and hedges will be established which provide a range of habitats for a range of invertebrates, small mammals and nesting birds. Breendon gravel paths will provide access to this area and picnic benches and seating will allow visitors to appreciate the virtues of this space.
7	New car park	In order to retain the same number of parking spaces to those that exist at present and to compensate those that have been lost to improve the landscape setting of the Village Hall, a small extension to provide 10 car park spaces is necessary. The impact of this extension will be reduced by beech hedging.
9	Tree felling	2 trees need to be felled to accommodate the revised parking layout. One is a mature horse chestnut which is in a very poor condition and the other is an elm which is likely to succumb to dutch elm disease. Replacement trees will be planted.
10	New MUGA and tennis court	The need to provide more facilities for local teenagers has emerged as a key issue. A MUGA has been put forward to meet their needs in a way that is consistent with Eastwood Park's focus as a provider of range and depth of sporting activities for the local community. The options for its location have been the subject of much debate but the current location as shown has now been agreed. It is easily accessible and buffered from the existing bowling green by the new tennis court.
11	New sports pavilion (not included in bid)	A location for a new purpose built sports pavilion is shown on the masterplan to replace the current inadequate facilities which are housed in two metal containers. This will be part of a separate funding bid and is not part of this HLF

		Stage 2 bid.
12,13,19 and 22	Improved path network	The current paths are largely narrow, uneven, poorly constructed and visually unattractive. Proposals for renewal include widening the main path across the park to take into account increased usage between Hasland centre and the Village Hall and increased seating provision, subtle realignment to improve curves and access points and a new link path to formalise a desire line between Hasland rd and Eastwood Park drive.
14	Improved drainage	Drainage in the park is poor with impeded drainage evident on the playing fields and around the fountain. A new land drainage scheme is proposed which addresses this issue combined with improvements to the surface water drainage network.
15	Establish new mini football pitch	The park is well used for football and consultation has established a desire to increase and improve the range and intensity of use by providing additional facilities. A mini football pitch is therefore proposed on the flatter area to replace the kick about area which is on undulating poorly drained land.
17	Improve the setting of the war memorial	At present the setting of war memorial is not ideal. A square, close fence has been erected to deter vandals and there is minimal planting which is of a low key nature. Proposals seek to improve the setting by introducing a low stone kerb and bedding which will accentuate this important feature and simultaneously improve access.
18	Restore main gates and repaint railings along Hasland rd	The main gates are in a sound structural but a poor cosmetic condition. They should be cleaned , repaired and repainted
20	Replace railings along western perimeter	The current railings were erected temporarily and are now in poor condition. They are in need of replacement and are included in the architectural metalwork Percent for art scheme

21	Consolidate western perimeter with new tree planting	The gap that exists on the western perimeter should be reinforced with more tree planting to reinforce the identity of the park as a greenspace and connect the northern and southern wooded perimeter. It will also help to reduce exposure in the long term. Trees should be crown raised sufficiently to provide clear visibility beneath the canopy.
23	New seats and litter bins	A new park style base on original Victorian seating found around the bowling green should be re-fabricated. It should be of high quality with, wooden slats and metal arms and installed throughout the park to replace the existing tired ones. New litterbins and dog bins should also be installed throughout.
16, 24	New infant and junior play facility	The existing play facilities are on diametrically opposite sides of the park and are looking worn and tired. The establishment of a new purpose built facility combining equipment for both infant and junior age groups is now proposed close to the Village Hall and car park but also easily accessible from the upgraded main link path. Proludic has been responsible for the detailed design and specification of the equipment which is wide ranging and innovative in nature. The existing play areas will be dismantled and restored to grass.
25	Fountain restored	Currently the fountain (which historically has always been part of the park but was borrowed and returned in 2000 and has never functioned properly ever since.) is in need of attention. Its outer stone perimeter wall is not level and the internal surface has been re-laid in grass and concrete setts. Proposals for the full restoration of this structure have been put forward with an allowance for restoration of the outer pool, repair of the bowl and water jets, improvements to water filter and electrical supply and connection to the restored drainage network.
31	Clean and repaint railings along eastern perimeter	The current railings are in a poor state of repair and require de-rusting and repainting.

8. Cost Plan (based on tendered prices for the works)

Item	Description	Quantity	Unit	£ Costings
PRELIMINARIES				
1	Establish site compound/signage etc	Item	No	9,500
2	Heras fencing and signage to close park during construction	Item	No	8,704
ZONE 1: SITE CLEARANCE, DEMOLITION AND EXCAVATION WORKS				
VILLAGE HALL AND SURROUNDING AREA				
3	Protect existing retained trees with 1.2m high chespale fencing secured to stakes 2.0m from trunk for tree nos. 2,25 and 27 for the duration of the construction works	3	No	150
4	Take up and remove all existing bitmac surfacing, where indicated, including speed humps and the like and all subbase and carting off site to approved tip	1365	m ²	1337.7
5	Demolition of the existing toilet block and air raid shelter disconnecting safely any existing services and removing all material off site , including all foundations to approved tip.			2280.45
6	Take up and remove fencing	145	m	1173.5
7	Take up and remove the top 150mm layer of topsoil and underlying brick rubble from the site of the proposed community garden and establish an evenly graded formation level	Item		774.87
8	Take up and remove edgings and fencing and tennis court surface			2025.75

9	Fell trees and grub up stumps to a depth of 300mm and remove all wood and arisings off site. NB in each case the tree must be inspected to ensure that there are no bat roosts or bats prior to felling.	2	No.	750
10	Take up and remove existing vegetation and sections of hedge	Item		6002.66
11	Repair, improvement and restoration of existing drainage	item		6674.90
	Community Garden			
12	Establish a new community garden at the rear of the Village Hall with raised beds etc	item		23164.25
13	Resurface area around Village Hall and car park in new bitmac, resin bound gravel and tar, spray and chip.	item		56280.53
14	Supply and install Funitubes Epping Square hardwood Timber Bollard 900mm high	8	No.	2648
	Raised Circular Brick Planter			
15	Construct raised brick planter with stone coping	item		10471.66
	External Sitting Area			
16	Construct an external sitting, picnic ares with gravel, hedging, seats and herbaceous planting	item		12681.61
	Timber Espaliers and planting			
17	Construct oversized timber espaliers with climbing plants	10	no	3627.24
	Rose Garden			
18	Establish new rose garden with paths and seat	item		8243.81
	New Orchard			
19	Allow for the establishment of a new orchard	item		2220.15

	Car Park Planting				
20	Car park landscaping: plant new shrubs, trees and hedges to soften and screen car park.	item			7237.18
	New Wildlife Garden				
21	Establish new wildlife garden with nature trees and shrubs, wildflower, paths and picnic benches.	item			9782.86
	Multi Use Games Area (MUGA)				
22	Construct a new MUGA and tennis court	item			109845.05
	New arboretum				
23	Establish new memorial arboretum	item			2211.05

ZONE 2: PREPARATORY AND DEMOLITION WORKS

24	Take up and remove a section of existing beech hedge in front of the existing tennis courts including all roots and cart off site to tip.	12	m		349.8
25	Take up and remove off site to approved tip sections of concrete pin kerb including all haunching etc	74	m		111
26	Take down and remove off site to an approved tip all play equipment , fencing , foundations and surfacing associated with the infants play area	item			1023.5
27	Take down and remove off site to an approved tip all play equipment , fencing , foundations associated with the infants junior play area	item			1500
28	Take up the existing play surfacing including bitmac for the junior play area including all sub base etc	511	m ²		1251.95
29	Demolition of the existing bandstand and remove all material off site , including all foundations, to approved tip.	item			2975

30	Take up and remove old tarmac hardstanding	432	m ²		423.36
31	Take up and remove vertical bar rail fence at Western perimeter, to approved tip	175			1207.5
32	Take up and remove goal posts to junior pitch	2			60
33	Remove all redundant street furniture to approved tip	16			475
34	Take up and remove vertical bar rail fence in front of the War Memorial to an approved tip	30			207
35	Allow for take up and removal of concrete hardstanding and old bitmac path surface	951			2453.15
36	Tree felling - fell and remove two trees	2	No.		750
ZONE 2: LANDSCAPE WORKS					
Drainage					
37	Allow for improvements to existing drainage system	90	m		4620
38	Construction of lateral land drainage trenches	1702	m		16509.4
39	Construction of main land drainage trenches not exceeding 900mm deep filled	465	m		8277
40	Construction of main land drainage trenches not exceeding 550mm deep filled	83	m		1373.65
41	Construction of main land drainage trenches not exceeding 700 mm deep filled	44	m		1185.8
42	Adandonment of existing pipework at location of MH7	item			10
43	Construction of rodding eyes at the end of pipe runs	4	No.		300

44	Construction of new manholes/silt traps as indicated consisting of brick and pre-formed concrete or preformed PVC with concrete surround	5	No.	1875
45	Connecting the existing fountain overflow to a new manhole	11	m	440
46	Connecting new drainage system to existing drainage system	item		350
47	Cultivate trench tops and seed with sports turf seed mix	2,392	m	717.6
48	Top up all trenches with approved 'Rootzone' compound 6 months after completion of trenching works	2,392	m	1674.4
	New paths			
49	Construct and lay new bitmac paths surfaced in resin bound gravel			87476.59
	Reinstatement of play areas, tarmac hardstanding and old paths			
50	Use topsoil from on site works to deposit a layer of soil, cultivate to a fine tilth then seed with sports field grass mix	1,558	m ²	1433.36
	Repair of existing tarmac			
51	Allow for repair to a cable trench by making up the levels where the trench has sunk with 0/10mm grade surface course tarmac	40	m ²	600
52	Make good poor bitmac surface around War Memorial and surface in resin bonded gravel	378	m ²	12341.7
	New Play Area.			
53	New Play Area. Supply and install new play area designed and supplied by Proludic			105,815.25
	Fountain restoration (see Appendix 3)			105815.25

54	Fountain restoration. Work to be carried out by nominated sub-contractor: The Fountain Company, Glossop (see Appendix 2)				49,600
	New triangular planting bed				
55	Allow for the creation of a new planting bed	839	m ²		5959.64
56	Restore the setting of the War Memorial including a new stone kerb and planting	75	m ²		778.6
	Main Gate refurbishment				
57	Refurbish, repair and restore all ironmongery, stone work and repaint	106	m		6785
	Installing artist blacksmith railing to Eastwood Park Drive boundary (See Appendix 4)				
58	Install 1.3m high vertical bar railing fabricated by others including all necessary concrete footings.	175	m		3325
	Installing artist blacksmith railing and centenary arch to section in front of Village Hall(see Appendix 4)				
59	Install c1.3m high artist metalwork railing and new centenary arch fabricated by others including all necessary concrete footings	55	m		1045
	Repainting western boundary railings and gates				
60	Derust and repaint all iron railings in approved colour including all gate ironmongery	175			6125
	Goal ends				
61	Supply and install a pair of Harrod 9v9 Heavyweight Freestanding Steel goals 4.88 x 2.13m with nets	1	pr		725
	Park Benches				
62	Supply and install new park benches fabricated by Lost Art Ltd, complete with concrete bases bitmac and resin bonded gravel plinths and securely fix to concrete foundations	8	no.		10960

Appendix 1 Bibliography

Primary Sources

Documents held by Chesterfield Local Studies Library

Opening of Eastwood Park (a photograph and cuttings album presented to Alderman Eastwood) ref L 712.5 OS

Particulars, Plan, and Conditions of Sale of the Hasland House Estate, by Auction, 18th January 1904

Chesterfield Borough Council Committee Minute Books 1912 to present day

Town Hall

Legal Deed Packet: Eastwood Park 1912 (Chesterfield Town Hall Archive)

Legal Deed Packet: Eastwood Park 1971 (Chesterfield Town Hall Archive)

Maps and Plans

1849 Tithe Map

1882 First Edition OS Map, scale 25" to 1 mile, Sheet 25.11

1898 Second Edition OS Map, scale 25" to 1 mile

1918 Third Edition OS Map, scale 25" to 1 mile

1938 Fourth Edition OS Map, scale 25" to 1 mile

1962 OS Map, scale 25" to 1 mile

Illustrations and Photographs

C1935 Hasland House – Borough Engineers Department (digital copies at Chesterfield Local Library)

Various historic photographs of the park and park benefactors held in collection at the Chesterfield Museum

Secondary Sources

Books and Publications

Hartshorn, Margaret (2005) *Hasland Over The Years*, Ashridge Books / Country Books

Pearce, Maureen (2000) *Hasland Times Past*, Chesterfield and District Local History Society

Wright, T. F. (1992) *History of Chesterfield*, Vol. IV. pg 253

Appendix 2 Chronology

Chronology of Main Historical Events

- C1760** Construction of Hasland House (now demolished)
- 1849** Tithe Map shows landholdings belonging to Hasland House in the ownership of the Claughton family
- 1882** The first edition OS Map shows the layout of the grounds around Hasland House including parkland closes with mature trees between the main road and the house and a number of formal garden areas around the house itself.
- 1895** On the death of Catherine Claughton the property is willed to her nephew Reverend Maurice Beedham.
- 1904** Hasland House and grounds inherited by John Arthur Beedham, who based in Canada, sold the property at auction to Bernard Lucas. Alderman Eastwood finally purchased it from his trustees on his death in 1912 for £3,500.
- 1912** On June 24th Hasland House and 15 acres of adjoining land is conveyed direct to Chesterfield Corporation for the purposes of establishing a public park and recreation ground.
- 1912** On October 8th Alderman Markham donates a large water fountain from his family residence at Ringwood Hall to be placed in the new park.
- 1913** Mr. Bernard C. Lucas informs Chesterfield Corporation of his wish to build a Village Hall in Eastwood Park in a letter written to the Council on March 13th.
- 1913** The park was officially opened with a parade and ceremony on July 2nd 1913. On the same day, Alderman Eastwood was made a Freeman of the Borough. Although Alderman Eastwood wished that the new park be called 'Hasland Park' the Council decreed on conferring his Freedom of the Borough that the park was to be known in the future as 'Eastwood Park' in recognition of his fulsome and generous contribution.
- 1914** Mrs. Bethune formerly opened the Village Hall in the park on Wednesday July 22nd, 1914. Roland W. Paul, an architect from Bristol, designed the hall, which was paid for by Bernard C. Lucas who has spent many years of his early life living at Hasland Hall.
- 1918** The Second Edition OS Map, scale 25" to 1 mile, shows the layout of the new park.
- 1919** Alderman Eastwood continued to support the park by supplying gymnastic apparatus for both boys and girls and paying for the park railings and the exterior of the house and greenhouse to be painted.
- 1921** A link shelter connecting the Village Hall with Hasland House was built with a £120 donation from Mr. Bernard C. Lucas.

- 1922** The bandstand was planned and erected in the park.
- 1922** Hasland Soldiers and Sailors War Memorial Committee request permission to erect a memorial in the park.
- 1924** On June 4th a bowling green on the site of today's flat green was introduced into the park and officially opened by Alderman Eastwood.
- 1924** Permission given for a small toilet block outside the Village Hall at an estimated cost of £300.
- 1927** An old tram car was introduced into the park adjacent to the tennis court area and stone entrance steps built which still remain.
- 1928** In July a Mr. W. T. Hatton was appointed as the new caretaker / gardener for the park replacing Mr. C. Skidmore who had resigned the previous month.
- 1931** The crown green bowling green was in place at the park in 1931 with Alderman Eastwood being asked to officially open the green.
- 1934** The small bowling pavilion was built by Mr. F. Beardow in 1934 at a cost of £186 – 10 – 0d.
- 1935** The public toilets adjacent to the Village Hall were constructed at a cost of £330 – 7 – 10d.
- 1935** Following a report on the poor condition of the old mansion house the Council agreed to demolish the building and replace it with a new caretaker's house and a refreshment room linking the house with the Village Hall.
- 1938** The Village Hall roof was re-slatted at a cost of £159.
- 1938** The third edition OS map, scale 25" to 1 mile show the many changes introduced into the park during the early years.
- 1939>** The park and in particular the Village Hall was utilised for the war effort during the Second World War.
- 1943** Mining subsidence affects the floor of the Village Hall and surrounding roadways.
- 1946** The area in front of the bandstand was re-surfaced with tarmac.
- 1949** Repairs were made to the main drive, and a new caretaker / ranger appointed.
- 1951** A possible extension to the park was first discussed in conjunction with the development of housing, school and allotments on fields to the north of the park.
- 1955** The cricket pitch in the centre of the park was constructed.
- 1958** The superstructure of the bandstand was demolished.
- 1959** The football pitch on the east side of the park was formally prepared and laid out.

- 1962** The OS Map shows the recent improvements to the park including the introduction of a children's play area in the south east corner.
- 1967** A new cricket pavilion paid for by the Hasland Cricket Club is erected on the base of the disused bandstand.
- 1971** The park is extended by 1.4 acres at a cost of £2,250.
- 1990** Improvements were made to the play area, football pitch and a car park for 20 spaces was constructed.
- 1991** A new access road was constructed from Eastwood Park Drive and a new footpath along the eastern boundary of the park was installed to link Hoole Street to Hasland Road. The toddlers play area was also installed.
- 2000** The fountain was re-installed in the park following a period from the mid 1980s when it was moved to New Square in the town centre and renamed the 'Peace Fountain'

Appendix 3 Fountain Restoration Specification

Further to the receipt of the revised drawings prepared by John Ruddy of Capstone Consulting Engineers, I have provided below costs associated with the list of works detailed on your pricing schedule:

- Drg. P347/01 Rev A - tender - Fountain Restoration
- Drg. P347/02 Rev ? - tender - Fountain Restoration

Item 1. Excavation and restoration of the outer pool to include a new base and liner and ensuring that water flows evenly from the inner pool to the outer pool.

I have had to make a number of assumptions with regard to the type of fill used within the outer pool area as we have no records from the original works which was undertaken by others, assuming that soil was used from around the park, then It may be possible to deposit the excavated material within the Park, If imported fill was used then there would be an extra charge of **£1900.00** + vat to remove this material from site to a registered facility.

Therefore I estimate that the costs to excavate and thoroughly expose the original outer pool shell, assuming that access is provided for plant and equipment to the feature edge via a suitably protected route provided by the main contractor would be in the region of **£3600.00** + vat, the inner and outer walls would need to be cleaned and inspected prior to fixing of new membrane along with any repairs.

The base and walls shall be made good with a sand/cement mortar prior to the installation of the new membrane, a sand blinding layer 50mm thick shall be also be laid on the feature base prior to the membrane installation.

A new flexible membrane would need to be installed as the outer feature wall appears to have settled on one side over time which would suggest that movement of the structure is likely and is therefore not suitable for a waterproof render to retain the water within the feature, a flexible membrane will provide a level of flexibility and a contingency for a small amount of further movement. The flexible membrane shall be a 1.5mm thick butyl membrane with stainless steel through bolt and pvc batten fixings to the underside of the coping stones (when relayed to form level surround). Fixing to the inner wall shall be to the underside of the carved rim below the main wall section, PU adhesive shall then be applied around the top edge of the membrane to create a barrier from water running through the stonework above.

The Butyl membrane shall be protected either side by two layers of Terram needlepunch geotextile matting, this matting shall be laid on the feature base and also dressed up the walls fully protecting the membrane.

The cost associated with the installation of the membrane will be **£7600.00** + vat

The membrane shall be further protected by the laying of a 75mm deep screed over the base of the lower pool, the screed shall be formed by using a high strength mix incorporating fibre reinforcement along with a waterproof additive such as Idrosilex or approved similar. The screed shall be be trowel finished and incorporate suitable 10mm wide expansion/movement joints on each x, xy, y and yx axis. The movement joints shall then be sealed using Mapeflex PU30 or approved similar.

The cost associated with the installation of the screed and movement joints will be **£4250.00** + vat

The vertical wall sections of the membrane shall be protected by a dressed stone wall constructed to a height above the membrane and terminating below the outer coping and inner wall carved rim (approximately 600mm high). The stone shall be selected from local

quarries to provide a match to the existing, the walls shall be minimum 150mm thick and shall be capped using raked copings to ensure water is directed in to the pool area below.

The cost associated with the construction of the stone walls will be **£5650.00 + vat**

Item 2 Rebuilding the stone outer walls to form a level outer perimeter including plugging the existing gap using new or or existing stone.

All of the existing copings would need to be removed from the wall and the wall built up to a defined level using a compatible stone selected from a local quarry or supplier. The existing copings are large and will therefore require specific lifting and storage, and any new wall sections required will need to suitably accommodate the weight of each coping when replaced, therefore any wall sections which are rebuilt shall be suitably supported with a central reinforced concrete core. Specific areas of repair will be the access path to the existing feature layout along with the lower section of wall which has dropped in level. The removed section of coping has been utilised to form three plaque bases which are set around the inner feature, these sections shall be salvaged and used to fill the space previously vacated, all plaques shall be salvaged and stored and mounted within the new kiosk.

The cost associated with the repair and levelling of the existing stone walls and copings will be **£5950.00 + vat**

Item 3 Overhauling the leaking shell of the upper platform as directed on the supplied drawings.

Removal of the central fountain structure upper column and main bowl will need to be undertaken carefully as the main bowl has cracked, a steel support frame will need to be constructed to act as a cradle for lifting the bowl in order that no further damage occurs, care should be taken during this process to avoid damage to the existing supply pipelines. Disconnection of the fish gargoyles is required as each of these pipelines will need to be cleared, flushed and repaired as necessary to allow full operation of the display once commissioned.

When the main bowl is removed the GRP with a lead finish shall be removed and the cracks shall be secured/supported using 12 x A4 stainless steel cramps, Preparation work to repair the cracks shall include a full clean and removal of loose material and spalling. Spalling areas chipped out and cramp stitches installed around longitudinal cracks. Grout ports should be installed in longitudinal cracks and then void filled with suitable waterproof grout pigmented to suitable colour (ARDEX C2 sandstone).

Stone shall be fully cleaned using steam cleaner and light pressure wash prior to assembly and again once assembly is complete. During assembly process the internal pipe supplies to the main header and eight gargoyles shall be reinstated and fully tested, the micro bore supplies to each gargoyle shall be flushed and suitable extensions added to pass through stone repairs.

The GRP protective membrane shall be reinstated within the main bowl and this shall interface with the central riser to provide a discreet cover and lap over the central column projecting 30mm above the weir edge of the main bowl. The membrane shall be pigmented and finished to give the appearance of Lead, a protective barrier shall be incorporated to reduce the impact and adhesion of the GRP to the stone. All edges shall be finished with a suitable PU adhesive sealant to ensure no water passes between the GRP and stone.

The cost associated with the repair and levelling of the existing stone bowl and GRP will be **£6550.00 + vat**

Item 4 Overhauling the pump system, installing a new bromine water treatment facility and connecting to the park drainage system (the existing drainage system will be substantially overhauled as part of the landscape contract works).

The existing circulation pipe work shall be modified to accommodate the new operating criteria of the feature, water will be drawn from the lower pool and delivered to the three feature inlet supplies, main header, gargoyles and inner pool, each fitting shall incorporate new brass/bronze inlet fittings to enhance the display. The Gargoyles shall provide suitable spouts which project in to the lower pool.

To accommodate the additional flow the pump system will require up rating and a new pump and strainer shall be installed within the existing filter chamber. A new access cover will be fitted over the filter chamber and this shall be a multi leaf (6) recessed cover to allow ease of removal for maintenance access. The cover will be supplied by the landscape works contractor to match other covers on the project. New UPVC suction pipes shall be installed and grills shall be provided over each intake position.

A new overflow will be installed in the lower pool and this will be connected to the new drainage system by the landscape works contractor, the overflow shall consist of a removable standing type stainless steel arrangement with cowl and mesh guard. The overflow shall be set adjacent to the pool wall and shall incorporate a buried trap and seal arrangement. Removal of the overflow shall be by locking mechanism and will allow full feature drain down.

The cost associated with the new pump system, chemical treatment and circulation pipelines will be **£6300.00 + vat**

Item 5 Relocating the electricity supply kiosk to a position close to the internal park railings.

To relocate the existing control panel a new trench would be excavated from the new location to the existing filter chamber and a new duct installed, the existing incoming supply would be diverted to the new location and suitably terminated with a switched fused isolator within a new kiosk mounted on a new concrete footing. The existing control panel would then be installed in the new kiosk (1250mm high x 1000mm wide x 500mm deep) and all electrical connections installed between the associated equipment and control panel. A new level sensor would be installed within the lower pool to operate the water make-up system and low level protection and a new standing inlet shall be installed for the make-up supply within the lower pool.

The cost associated with relocating the control system will be **£6500.00 + vat**

Item 6 Ensuring that the fountain operates in fully functional way, without leaks, on completion of the works.

Fully commission water feature and hydraulic test system, provide full NICEIC electrical certification for installation. Provide 1 hard copy and 1 CD copy of the full and detailed Operation and Maintenance manuals including all as fitted drawings and manufacturers literature.

All for the some **of £1400.00 + vat**

Stephen Croft

The Fountain Company Ltd
Etherow House
Woolley Bridge Road
Glossop
Derbyshire
SK13 2NS

Tel: 01457 866088
Fax: 01457 865588
E-mail: fountain.co@btconnect.com
www.thefountaincompany.co.uk

Appendix 4 Architectural metalwork railings

DAVID MAYNE

Eastwood Park Concept Design Report

Over the last 20 years I have worked on various different projects that have incorporated artworks into places that include; public parks, housing developments, town centres, hospitals, museums and schools; a number of these have also won design awards. I produce site specific public art that responds directly to the location, with reference to history, cultural activity or notable landmarks. Information and imagery for such work is obtained through site visits and research and close communication with the client. I can work as both project manager and fabricator and this process often involves collaboration with professionals such as architects, designers, planner's etc. Budgets usually range from £5k to £80k. This work ranges from decorative gates and railings to large entrance features.

"....In days to come the park, which we heard described by a local resident as *A Veritable Garden of Eden* will be even more appreciated than it is at the present time, for houses are already been built in close proximity to it and soon it will be a 'breathing place' in the centre of a very thickly populated portion of the borough....."

Derbyshire Times Eastwood Park Open, 5th July 1913

This quote was the starting point for my concept designs.

I have proposed an Archway Feature which I believe is site specific and fitting for the location and near by buildings. The arch would feature images and information on cast-iron relief panels and also laser cut designs.

Designs and information could be the result of consultation and engagement with local people – such as history society and local schools. These designs could feature images of how the park is currently used, fauna and flora and images of previous history and heritage.

I want to create an artwork that makes reference to the existing park gates without directly imitating them. It may therefore be relevant to include a date on the new entrance gate.

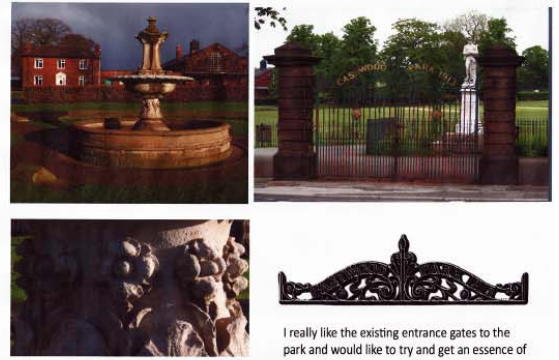
I have proposed two alternative types of railings for the park. One set of designs uses the adjacent Village Hall windows and architecture as a reference point while the other set of sketches are based on the Garden of Eden concept and are made up of plant form designs.

The sketches based on architecture are deliberately simple to allow for greater coverage for the budget.

"...In days to come the park, which we heard described by a local resident as A Veritable Garden of Eden will be even more appreciated than it is at the present time, for houses are already been built in close proximity to it and soon it will be a 'breathing place' in the centre of a very thickly populated portion of the borough....."

Derbyshire Times Eastwood Park Open, 5th July 1913

Early inspiration and probably even more relevant today



I really like the existing entrance gates to the park and would like to try and get an essence of that metal work in my design. I think it may be rather too much to simply copy it and include it as shown in the sketch example below.

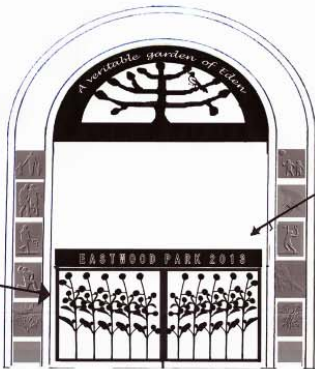
Subtle images such as the magpie on Chesterfield's coat of arms could be used in the artwork



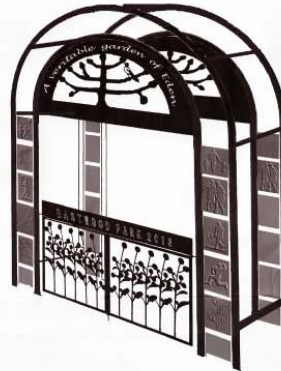
Cast elements with relief images that refer to today's use of the park, past history and perhaps text /information



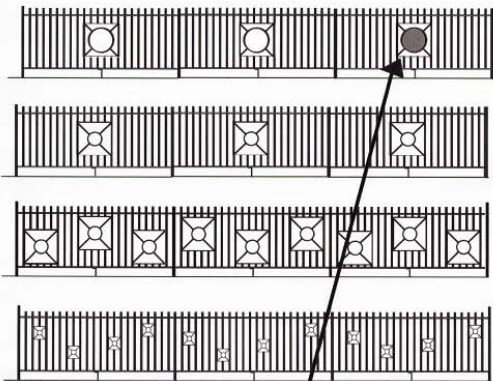
The plant shapes are intended to give an idea of what could be contained within the gate and not a final design.



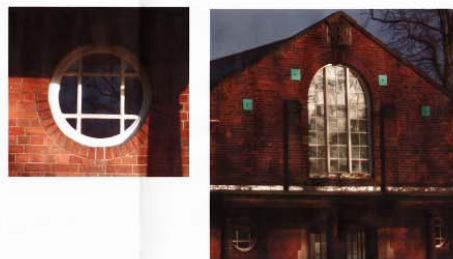
Possibly include a centenary date on the new gate?



ABOVE Examples of previous cast metal work The work on the archway could either be quite simple flat relief or more detailed modelling



Cast panels could be included in the railings (if budget allows) similar to those on the Archway. Once again these could refer to the history and current use of the park and its surroundings



Railing patterns that refer to the arched and circular windows of the Village Hall



this sheet is intended to give an idea of the style and working process that I would use to develop ideas for Eastwood Park. The sketches are therefore not final designs.

The finished work would be site specific and designed to include imagery created by local people/children if at all possible.



Examples of railings based on plant forms

EASTWOOD PARK
CONCEPT IDEAS
© DAVID MAYNE
2012